

# Housing Committee

---

City of Leavenworth Conference Room

4:30 - 5:00 PM

August 25, 2020

## Join Zoom Meeting

<https://us02web.zoom.us/j/89240428598?pwd=QjAyVWlzRzIVa1ZvSk5WZTVJU0pYdz09>

**Meeting ID:** 892 4042 8598

**Password:** 093779

## Dial by your location

+1 253 215 8782 US

Find your local number: <https://us02web.zoom.us/u/kdjS75Yziq>

## Members:

Mia Bretz

Clint Strand

Zeke Reister\*

## Agenda Items:

1. Cottage/ADU Program (Clovis California) – pre-approved plans & the 2021/22 Budget
2. Workforce Housing, John Sutherland email
3. Next Month Agenda Items
  - a. Suggestions

## Committee Goals:

- a. Initiating a discussion regarding the collaboration on regional housing issues and potential regional solutions.
- b. Exploring possible funding options for assistance of work force level housing.
- c. Reviewing and monitoring the implementations of municipal code language as it is developed and approved via the City Council and Planning Commission. The Committee shall evaluate the effectiveness of implementation of the code language.

## SITE PLAN NOTES

PROJECTS LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR ELEVATION OF NOT LESS THAN 1' ABOVE THE 100 YEAR FLOOD LEVEL. (CRC R106.1.1)

NO ON-SITE WATER RETENTION OR DRAINAGE ONTO ADJACENT PROPERTIES SHALL BE PERMITTED.

FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 8" ABOVE FINISHED GRADE. THE ENTIRE SITE SHALL HAVE A MINIMUM OF 0.5 PERCENT SLOPE FOR DRAINAGE. ALL WATER DRAINAGE SHALL BE TO THE STREET (OR OTHER APPROVED LOCATION).

PROVIDE A MINIMUM OF 6 INCHES OF SLOPE AWAY FROM ALL BUILDINGS FOR A DISTANCE OF AT LEAST TEN FEET. WHERE THIS REQUIREMENT CANNOT BE MET AN ALTERNATE METHOD SHALL BE REQUIRED THAT WILL PROVIDE ADEQUATE DRAINAGE. (CRC 401.3) ALTERNATE DRAINAGE SHALL BE DONE USING LANDSCAPE DRAINS WITH INLETS NOT TO EXCEED 18' INTERVALS.

ANY GRADE DIFFERENTIALS GREATER THAN ONE FOOT SHALL BE DONE WITH AN APPROVED RETAINING WALL.

ALL PIPES IN TRENCHES REQUIRE MIN. 18" COVERAGE

ANY HVAC EQUIPMENT LOCATED ON SITE SHALL NOT BE LOCATED WITHIN THE BUILDING SET-BACKS.

DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAX. SLOPE OF 12 PERCENT FOR A MIN. OF 20'-0" FROM THE GARAGE. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF 18 PERCENT.

BUILDING SITE SHALL BE CLEARED AND ALL VEGETATION, TREE ROOTS OR OTHER FOREIGN MATTER SHALL BE REMOVED TO A MINIMUM DEPTH OF 12"

ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.

REPAIR ANY DAMAGED OFF-SITE CONCRETE IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT DIVISION PRIOR TO OCCUPANCY.

2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1-800-642-2444

CONSTRUCT CONCRETE SIDEWALKS, CURBS, GUTTERS AND DRIVEWAY APPROACHES TO PUBLIC WORKS STANDARDS SPECIFICATIONS.

OVER EXCAVATE THE SITE AS NEEDED TO REMOVE DEBRIS, ORGANICS AND FILLS THAT MAY BE LEFT FROM A PREVIOUS DEMOLISHED HOME OR PLANT MATERIALS. REPLACE FILLS AS NECESSARY WITH 90% COMPACTION FOR ALL FILLS GREATER THAN 6 INCHES ABOVE THE EXISTING SURROUNDINGS GRADE. COMPACTION REPORT REQUIRED.

IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING.

ALL EXTERIOR WALLS SHALL NOT BE LESS THAN 5 FEET FROM THE PROPERTY LINES

## GENERAL NOTES

CONSTRUCTION SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL (CRC), MECHANICAL (CMC), PLUMBING (CPC) AND ELECTRICAL (CEC) CODES, AND THE 2016 CALIFORNIA ENERGY CODE AS AMENDED BY LOCAL ORDINANCES.

PLANS SHALL NOT BE SCALED. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

DISCREPANCIES OR ERRORS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CORRECTION BEFORE THE WORK AFFECTED THEREBY IS BIDDED OR EXECUTED. ALL WORK SHALL COMPLY IN EVERY RESPECT WITH CURRENT GOVERNING LAWS, CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.

PROPERTY OWNER SHALL BE RESPONSIBLE FOR LOCATING, VERIFYING AND STAKING OUT ALL DIMENSIONS, GRADES AND OTHER CONDITIONS AT JOB SITE PRIOR TO THE START OF ANY WORK. ACCEPTANCE OR APPROVAL BY THE DESIGNER SHALL NOT CONSTITUTE RELIEF OF THE PROPERTY OWNER'S RESPONSIBILITY OF ACCURACY.

IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS TO VERIFY ALL FIELD MEASUREMENTS AND CONDITIONS FOR THE CONFORMANCE OF THESE PLANS. SHOULD THERE BE ANY ERRORS, OMISSIONS AND/OR DISCREPANCIES IN THE PLANS, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND/OR ENGINEER FOR CORRECTION AND/OR CLARIFICATION. THE PROPERTY OWNER AND DESIGNER OR PROJECT ENGINEER SHALL RESOLVE ANY ERRORS, OMISSIONS AND/OR DISCREPANCIES PRIOR TO COMMENCING WORK THAT PORTION OF THE WORK AFFECTED. ANY CHANGES MADE TO THE PLANS SHALL REQUIRE THE APPROVAL OF THE OWNER, DESIGNER AND/OR THE PROJECT ENGINEER.

PROPERTY OWNERS SHALL OBTAIN AND PAY FOR ANY PERMITS, NOTICES, INSPECTIONS OR TESTS THAT ARE REQUIRED FOR THEIR PARTICULAR WORK. EACH SUB-CONTRACTOR SHALL VISIT THE SUBJECT PROPERTY AND INSPECT THE PREMISES AND SHALL VERIFY THE WORK TO BE DONE, THE EXISTING CONDITIONS AND SHALL NOTIFY THE PROPERTY OWNER OF ANY AND ALL DISCREPANCIES PRIOR TO SUBMITTING A BID AND/OR STARTING ANY WORK.

ALL MATERIALS, EQUIPMENT AND SYSTEMS SPECIFIED IN THE PLANS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S LATEST SPECIFICATIONS.

PROVIDE STREET ADDRESS NUMERALS AT LEAST FOUR INCHES HIGH USING A 1/2" STROKE MOUNTED ON A CONTRASTING BACKGROUND AND LOCATED ON THE BUILDING AS TO BE CLEARLY VISIBLE FROM THE ALLEY PRIOR TO CALLING FOR THE FIRST INSPECTION. ALL REQUIRED ADDRESS SIGNS SHALL COMPLY WITH CITY OF CLOVIS ORDINANCES

CONCRETE COMPRESSION STRENGTH SHALL BE 2500 PSI MINIMUM IN 28 DAYS.

ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE, DEFORMED BARS CONFORMING TO A.S.T.M. GRADE 40 (W.D.)

ALL LUMBER SHALL BE GRADE MARKED, DF STD. OR BETTER MIN. EXCEPT AS NOTED ON PLANS. ALL POSTS SHALL BE D.F. #2. PLYWOOD SHALL BE DOUGLAS FIR CONFORMING TO PSI-14 U.S. DEPT. OF COMMERCE, AND SHALL BE GRADE STAMPED 'D.F.P.A.'

ALL NAILINGS SHALL BE IN COMPLIANCE WITH C.R.C. TABLE R602.3(1) AND R602.3(2).

'REGISTERED' COPIES OF THE CF-3R AND CF-2R FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED INSTALLER FOR THE CF-3R FORM AND THE HERS RATER FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE CF-2R FORM

WHEN FIELD VERIFICATION IS NEEDED TO SHOW COMPLIANCE, A HERS CERTIFICATE SHALL BE PROVIDED BEFORE THE BUILDING DEPARTMENT WILL APPROVE THE FINAL INSPECTION

## COVER SHEET NOTES

THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.

THE PERMIT FOR THIS PROJECT REQUIRES FIRE SPRINKLERS. LAYOUT AND DETAILS OF THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 13D OR CRC SECTION R313.3 REVIEWED AND APPROVED BY THE APPLICABLE FIRE MARSHAL PRIOR TO PERMITTING THE PLANS. THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR OR OWNER-OCCUPIED OWNER BUILDERS, AND SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE FIRE MARSHAL PRIOR TO APPROVAL OF OCCUPANCY OF THE BUILDING.

OBTAIN FIRE SPRINKLER FINAL INSPECTION APPROVAL PRIOR TO BUILDING FINAL INSPECTION.

CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.

PROVIDE TEMPORARY STREET SIGNAGE PER CLOVIS FIRE DEPARTMENT STANDARD #35. TEMPORARY STREET SIGNS ARE REQUIRED TO BE INSTALLED PRIOR TO CALLING FOR ANY INSPECTION. SIGN BACKINGS MATERIAL IS REQUIRED TO BE 64" HIGH WITH REFLECTORIZED MATERIAL. THE STREET NAME SHALL BE IN BLACK LETTERING 4" IN HEIGHT AND THE BLOCK NUMBERING SHALL BE 2" IN HEIGHT IN BLACK. THE BOTTOM OF THE STREET SIGN SHALL BE 9'-6" MIN. FROM GRADE. 2016 CRC R106.1.1

## SPECIAL NOTES

A SUB-CONTRACTORS LIST IS REQUIRED FOR OWNER/BUILDER PROJECTS AND SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT UPON APPLYING FOR A PERMIT.

A COMPACTION REPORT IS REQUIRED. AS AN OPTION, THE PROPERTY OWNER MAY PROVIDE A SOILS REPORT FOR THIS PROJECT FROM A LICENSED PROFESSIONAL.

PROVIDE A "WILL SERVE" LETTER FROM AN APPROVED CONSTRUCTION DEBRIS RECYCLING/WASTE HAULER FOR THIS PROJECT. THIS LETTER IS TO BE PROVIDED BY 4, SIGNED BY THE WASTE/RECYCLING HAULER PRIOR TO THE ISSUANCE OF ANY PERMIT. (2016 CAL. GREEN CODE 4.408)

OBTAIN FIRE SPRINKLER FINAL INSPECTION APPROVAL PRIOR TO BUILDING FINAL INSPECTION.

THIS PROJECT DOES NOT INCLUDE LANDSCAPING, BUT IT IS UNDERSTOOD THAT PRIOR TO LANDSCAPING BEING INSTALLED, IT SHALL COMPLY WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) REQUIREMENTS PER TITLE 23 OF THE CALIFORNIA CODE OF REGULATIONS, DIVISION 2, CHAPTER 2.1 WHICH WILL REQUIRE PLANS, PERMITS AND INSPECTIONS.

ONE UNCOVERED PARKING SPACE MUST BE PROVIDED ON SITE, AND SHALL BE SHOWN ON THE CITY OF CLOVIS PLOT PLAN FORM AT THE TIME OF PERMITS.

SHEET INDEX	
SHT.	CONTENTS
1	COVER SHEET
2	FLOOR PLAN
3.1	EXTERIOR ELEVATIONS - A
3.2	EXTERIOR ELEVATIONS - B
3.3	EXTERIOR ELEVATIONS - C
4	BUILDING SECTIONS
S1	FOUNDATION PLAN & SHEARWALL PLAN
S2.1	ROOF FRAMING PLAN - A
S2.2	ROOF FRAMING PLAN - B
S2.3	ROOF FRAMING PLAN - C
D1	TYPICAL DETAILS
D2	TYPICAL DETAILS
E1	ELECTRICAL PLAN
M-1	MECHANICAL PLAN
M-2.0	ENERGY DOCUMENTATION - FAU
M-2.1	ENERGY DOCUMENTATION - MINI SPLIT
PI	WATER AND GAS PIPING PLAN
NI	TYPICAL PLAN NOTES
CGBS	CALIFORNIA GREEN BUILDING STANDARDS

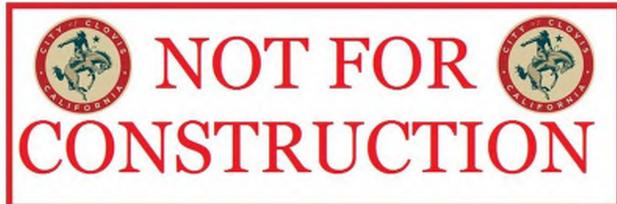
## PROJECT DATA

STANDARD PLAN #	SPN-0913-2017
PROPERTY ADDRESS	CLOVIS, CA 93612
ZONE DISTRICT:	RI
OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	VB
NO. OF STORIES:	1
ENERGY METHOD	CBECC-RES 2016.2.1 (868)
CODE EDITIONS:	2016 CRC,CEC,CMC,CPC,CFC 2016 CAL. ENERGY CODE 2016 CAL. GREEN CODE

## CONSULTANTS

OWNER:	CITY OF CLOVIS 1033 FIFTH STREET CLOVIS, CA 93612 (559) 324-2300
DESIGNER:	CWB DESIGNS 491 HERNDON AVE. #2245 CLOVIS, CA 93612 (559) 294-6534
STRUCTURAL ENGINEER	ENGINEERING DESIGNS 5155 N. FIRST ST. FRESNO, CA 93710 (559) 225-2525
TRUSS MANUFACTURER	AUTOMATED BUILDING COMPONENTS 2853 S. ORANGE AVENUE FRESNO, CA 93725 (559) 485-8232
ENERGY CONSULTANT	ENERCAL SOLUTIONS 244 S. OLYMPIC ST. KERMAN, CA 93630 (559) 696-7922
FIRE SPRINKLER CONSULTANT	RMK ENGINEERING, INC. 323 W. CROMWELL AVE # 105 FRESNO, CA 93711 (559) 974-5452

AREA SCHEDULE	
RESIDENCE:	391 S.F.
PORCH:	43 S.F.
TOTAL COVERED AREA:	434 S.F.



CITY of CLOVIS

These plans are NOT FOR CONSTRUCTION or for any use without permission from the City of Clovis or without direct purchase.



# CLOVIS STANDARD PLAN # 1

## CITY OF CLOVIS, CALIFORNIA

REVISIONS: REV 05 05-27-17 ENG 05-27-17 SUB 05-12-17 BIC 06-23-17  
 DRAWING FILE: CLOVIS/STANDARD PLAN #1

**DATE: 07.21.17**  
**CWB DESIGNS**  
 491 HERNDON AVE. #2245  
 CLOVIS, CA 93612  
 PHONE: 559.294.6534

**STANDARD PLAN #1 FOR:**  
**CITY OF CLOVIS**  
 1033 FIFTH STREET  
 CLOVIS, CA 93612  
 PHONE: 559.324-2300

**COVER SHEET**  
 SHEET 1 OF 19

"ALL RIGHTS RESERVED"  
 THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C.W.B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND SPECIFIED, WITHOUT THE WRITTEN CONSENT OF C.W.B. DESIGNS. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS DOES NOT CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OR RELEASE OF RESTRICTIONS.



# CITY of CLOVIS

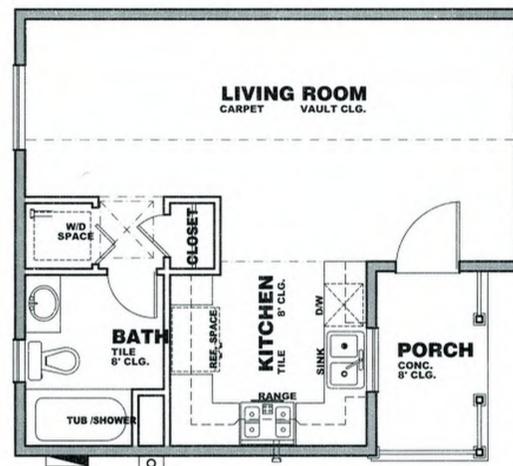
These plans are NOT FOR CONSTRUCTION or for any use without permission from the City of Clovis or without direct purchase.

## WATER HEATING MANDATORY MEASURES

WATER HEATING SYSTEMS USING GAS TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING COMPONENTS:

- A 120 VOLT ELECTRICAL RECEPTACLE WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS
- A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED.
- A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINAGE WITHOUT PUMP ASSISTANCE.
- A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR.

MINIMUM 1" THICK PIPE INSULATION SHALL BE INSTALLED ON HOT WATER PIPES FROM THE WATER HEATER TO THE KITCHEN FIXTURES.



SEE 1 BEDROOM FLOOR PLAN FOR TYPICAL NOTES AND DIMENSIONS.

## STUDIO FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
RESIDENCE:	347 S.F.
PORCH:	43 S.F.
TOTAL COVERED AREA:	407 S.F.

"ALL RIGHTS RESERVED"  
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C.W.B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DELIVERED, WITHOUT THE WRITTEN CONSENT OF C.W.B. DESIGNS. CONTACT WITH THESE DRAWINGS SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET

2 OF 19

## REVERSE FLOOR PLAN

SCALE: 1/4" = 1'-0"

1 BEDRM PLAN  
397 S.F.

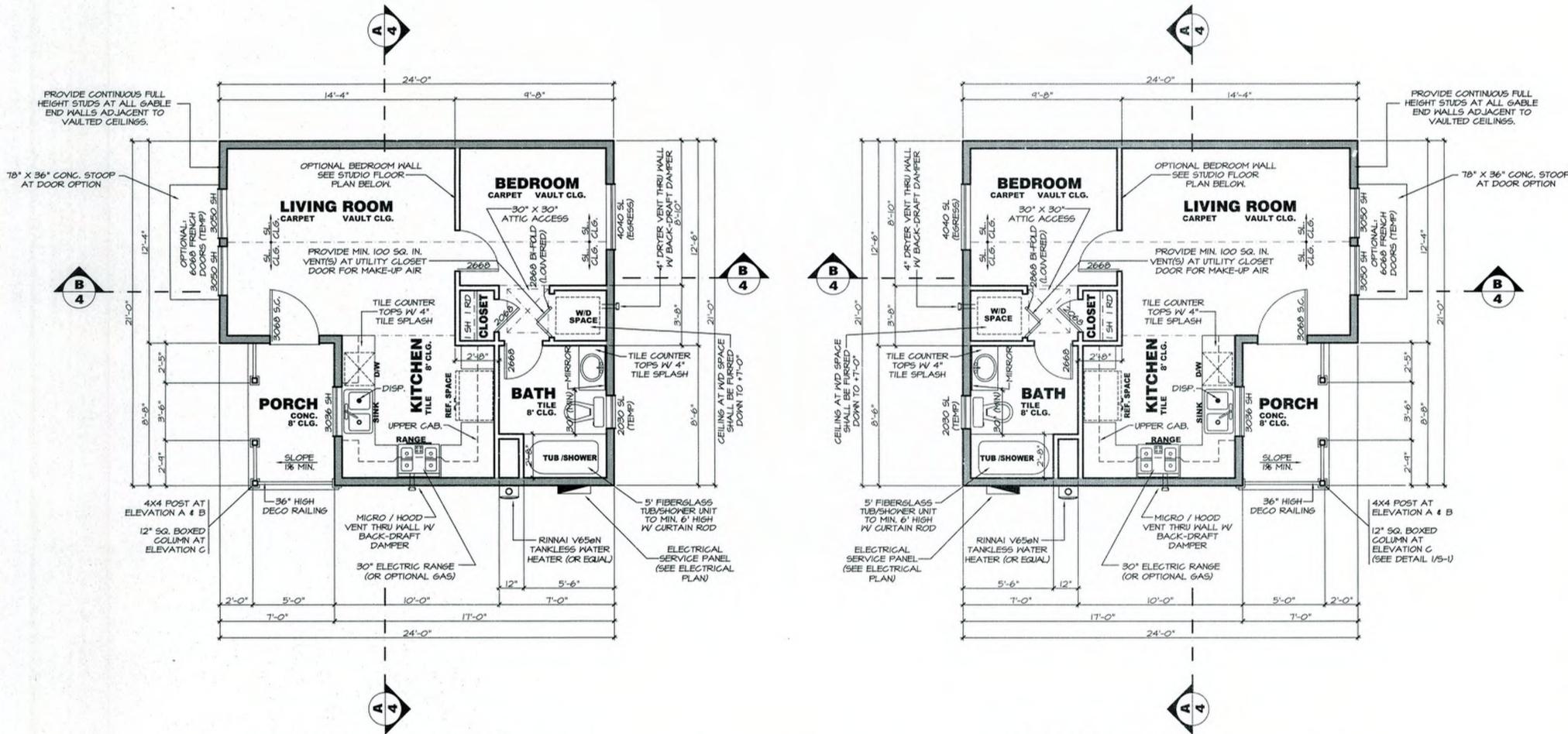
## WALL LEGEND

- 2X4 STUDS AT 16" O.C.
- 2X6 D.F. #2 CONTINUOUS STUDS AT 24" O.C.

## FLOOR PLAN

SCALE: 1/4" = 1'-0"

1 BEDRM PLAN  
397 S.F.



## FLOOR PLAN NOTES

CONSTRUCTION SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL (C.R.C.), MECHANICAL (C.M.C.), PLUMBING (C.P.C.) AND ELECTRICAL (C.E.C.) CODES, AND THE 2016 CALIFORNIA ENERGY CODE AS AMENDED BY LOCAL ORDINANCES.

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AT JOBSITE PRIOR TO THE START OF ANY WORK.

IF ERRORS ARE FOUND WITHIN THESE DRAWINGS, THE DESIGNER SHALL BE CONSULTED FOR CORRECTIONS PRIOR TO CONTINUANCE OF WORK AFFECTED.

ALL FRAMING LUMBER SHALL BE D.F. #2 OR BETTER UNLESS NOTED OTHERWISE PROVIDE FIRE BLOCKING AT FLOORS, CEILING COVES AND SOFFITS AND AT 10'-0" INTERVALS.

PROVIDE FIRE-STOP AT ALL FURRED DOWN AREAS INCLUDING ARCHED AREAS AT MAX. 10'-0" O.C. HORIZONTAL AND VERTICAL, AND AT ALL FLOOR AND CEILING LEVELS.

PROVIDE FIRE-STOP AT ALL COLUMNS AT MAX. 10'-0" HIGH.

FINGER JOINTED STUDS MUST BE GRADE STAMPED BY AN APPROVED ICBO INSPECTION AGENCY, AND CLEARLY SPECIFIED ON PLANS. (NO FINGER JOINTED STUDS SHALL BE USED IN ANY SHEAR WALL)

WINDOW SILL HEIGHT SHALL NOT EXCEED 44" FROM THE BOTTOM OF THE NET CLEAR OPENING TO THE FINISHED FLOOR IN ALL SLEEPING ROOMS.

FLOOR AND LANDINGS ON EACH SIDE OF DOORWAYS SHALL CONFORM TO THE REQUIREMENTS OF C.R.C. R311.3.

A. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED AND SHALL EXTEND A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL.

B. LANDINGS SHALL BE NO MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD.

C. LANDINGS MAY BE NO MORE THAN 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SPING OVER THE LANDING OR FLOOR.

D. THE MINIMUM NET HEIGHT OF REQUIRED EGRESS DOORS SHALL BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE DOOR STOP.

• THE ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.

FASTENERS AND CONNECTORS IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED GALVANIZED STEEL PER C.R.C. R317.1.

GYPSUM WALL BOARD NAILING SHALL BE IN ACCORDANCE WITH C.R.C. TABLE R702.3.5 PRIOR TO COVERING NAILS.

AFTER INSTALLING HVAC EQUIPMENT AND WATER HEATING SYSTEMS, THE INSTALLER SHALL SUBMIT TO THE BUILDING DEPARTMENT AND THE OWNER, REGISTERED COPIES OF THE CF-6R SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED, AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION.

• WATER CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE FIXTURE. THE WATER CLOSET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION.

CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS. WATER RESISTIVE GYP. BOARD IS NOT PERMITTED AT THESE LOCATIONS.

REGISTERED COPIES OF THE CF-4R FORM SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING.

AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE INSPECTOR AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE.

JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, EQUIPPED WITH GASKETS, WEATHER-STRIPPED, OR OTHERWISE SEALED TO LIMIT INTERNAL OR EXTERNAL AIR FILTRATION.

EVERY MANUFACTURED AND SITE-BUILT FENESTRATION PRODUCT OR FENESTRATION SYSTEM INSTALLED IN CONSTRUCTION SUBJECT TO TITLE 24, PART 6 SHALL HAVE ATTACHED TO IT A CLEARLY VISIBLE TEMPORARY LABEL OR HAVE AN ASSOCIATED LABEL CERTIFICATE THAT LISTS THE U-FACTOR, THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF THAT PRODUCT AND THE METHOD USED TO DERIVE THOSE VALUES, AND CERTIFIES COMPLIANCE WITH AIR LEAKAGE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, SECTION 116(A). THE LABEL SHALL NOT BE REMOVED UNTIL APPROVED BY THE BUILDING INSPECTOR.

• SHEET ROCK NAILING INSPECTION IS REQUIRED PER R104.1.4.2. NAILING SHALL BE IN ACCORDANCE WITH TABLE R702.3.5 (SEE SHEET 4)

• VERTICAL CLEARANCE ABOVE THE COOKING SURFACE TO COMBUSTIBLES SHALL BE 30" UNPROTECTED, OR 24" PROTECTED, AND HORIZONTAL CLEARANCES SHALL BE PER THE PERMANENT MARKINGS LISTED ON THE UNIT.

• BLOWN OR POURED TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 2.5:12 PITCH.

## GREEN BUILDING STANDARDS

THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.20 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U. S. EPA WATER SENSE SPECIFICATION FOR TANK-TYPE TOILETS.

SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWER HEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U. S. EPA WATER SENSE SPECIFICATION FOR SHOWER HEADS. (VOLUME IS LIMITED TO 2.0 GALLONS PER SHOWER AREA REGARDLESS OF THE NUMBER OF SHOWER HEADS)

THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.0 GALLONS PER MINUTE AT 60 PSI.



DATE: 07.21.17

C W B DESIGNS

491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534

FLOOR PLAN

REVISIONS  
REV. DATE: 05.27.17  
ENG. 05.27.17  
SUB. 05.12.17  
BY: 06.23.17

DRAWING FILE  
CLOVIS17A10



**ELEVATION NOTES**

ALL SIDING SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (TYPE 'D' BUILDING PAPER) PER CRC R103.2.

TWO LAYERS TYPE 'D' BUILDING PAPER UNDERLAYMENT IS REQUIRED WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING (CRC R103.6.3)

ALL DECORATIVE CORBELS, BRACES AND BRACKETS MAY BE CONSTRUCTED IN FIELD PER DETAILS PROVIDED, OR OWNER MAY PURCHASE PRE-ASSEMBLED PIECES, PROVIDED THEY MATCH AS CLOSELY AS POSSIBLE TO THE PIECES SHOWN IN THE DRAWINGS AND ARE APPLIED AS PER THE PRODUCTS INSTALLATION INSTRUCTIONS.

REVISIONS	REV	DATE	BY	CHK	APP
	01	03-27-17	ENG		
	02	03-27-17	ENG		
	03	05-12-17	SUB		
	04	06-23-17	BC		

DRAWING FILE  
C:\DWG\PLANS\A

**CWB**

DATE: 07.21.17

C W B DESIGNS

491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534

STANDARD PLAN #1 FOR:

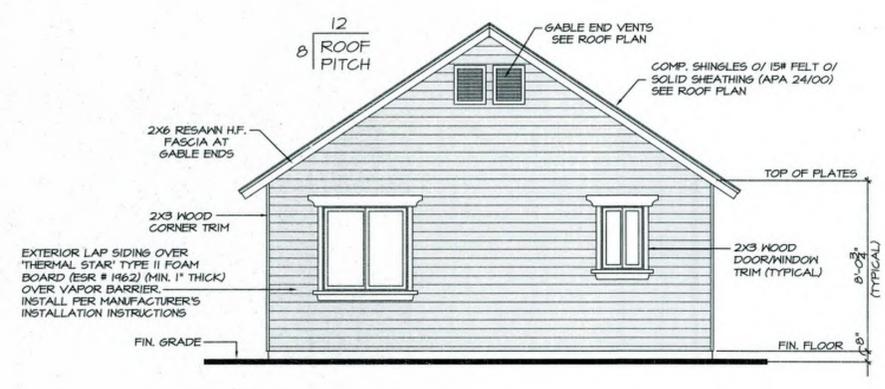
CITY OF CLOVIS

1033 FIFTH STREET  
CLOVIS, CA 93612  
PHONE: 559.324-2300

ELEVATION - A

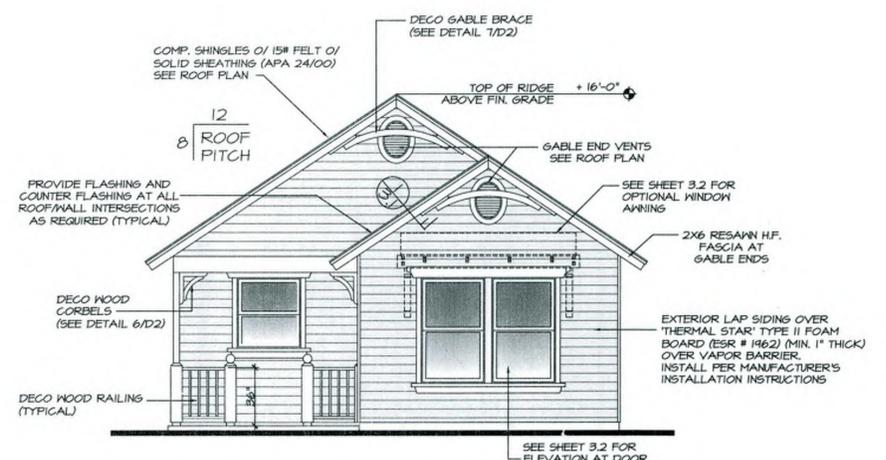
SHEET

3.1 OF 19



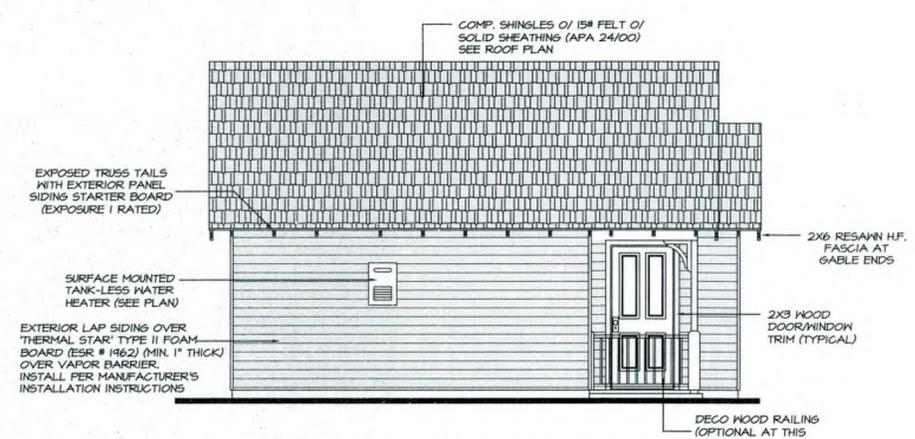
**REAR ELEVATION - A**

SCALE: 1/4" = 1'-0"



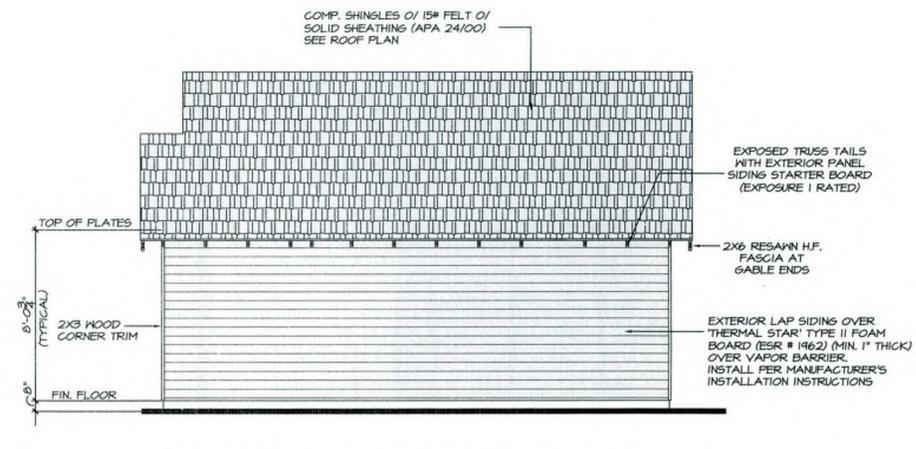
**FRONT ELEVATION - A**

SCALE: 1/4" = 1'-0"



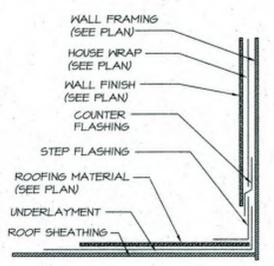
**LEFT ELEVATION - A**

SCALE: 1/4" = 1'-0"

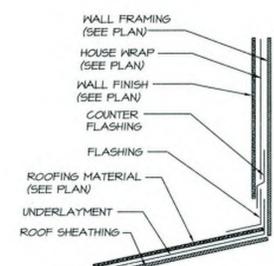


**RIGHT ELEVATION - A**

SCALE: 1/4" = 1'-0"



1 ROOF-TO-SIDEWALL FLASHING  
3.3 SCALE: NONE

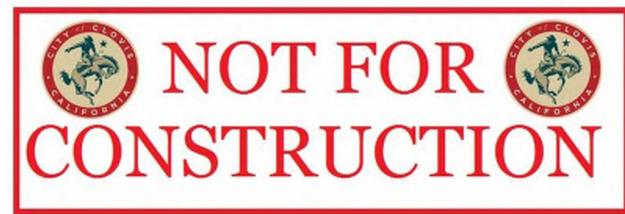


2 ROOF-TO-HEADWALL FLASHING  
3.3 SCALE: NONE



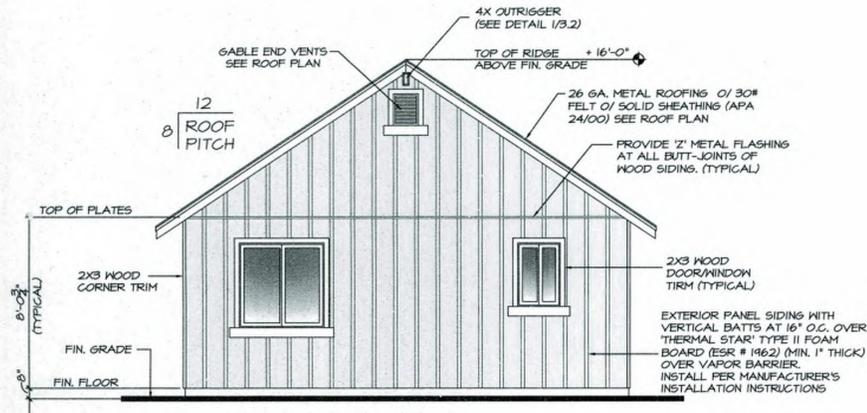
CITY of CLOVIS

These plans are NOT FOR CONSTRUCTION or for any use without permission from the City of Clovis or without direct purchase.

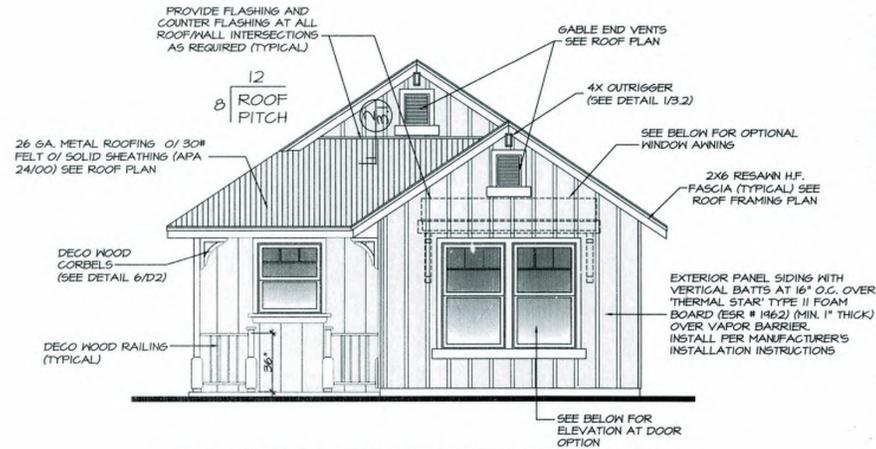


"ALL RIGHTS RESERVED"  
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C. W. B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF C. W. B. DESIGNS. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

*[Signature]*



**REAR ELEVATION - B**  
 SCALE: 1/4" = 1'-0"

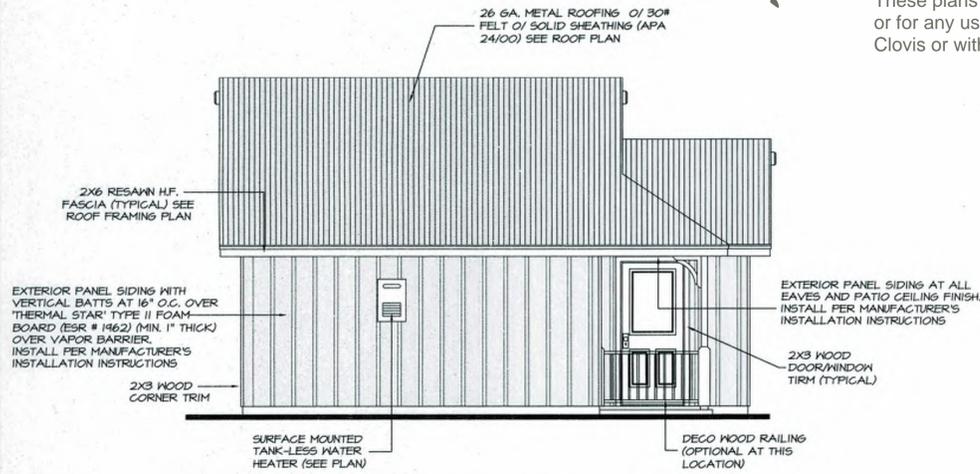


**FRONT ELEVATION - B**  
 SCALE: 1/4" = 1'-0"

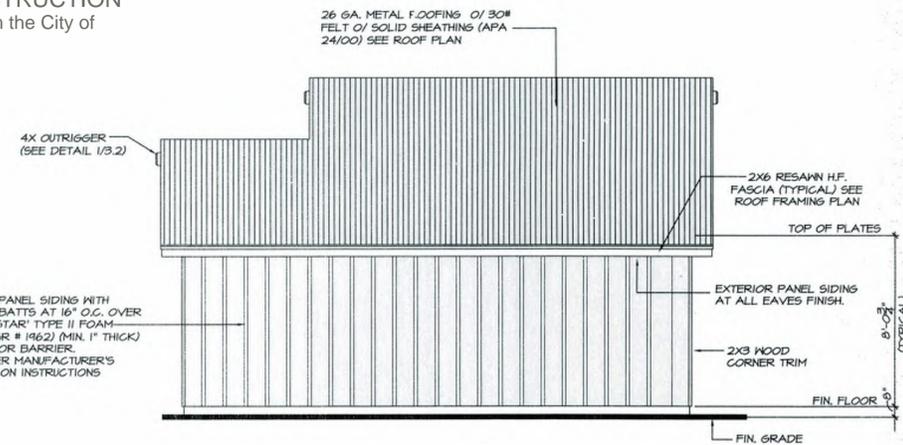


**CITY of CLOVIS**

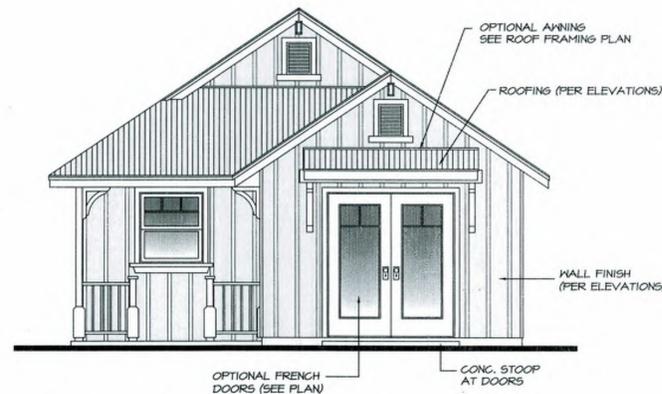
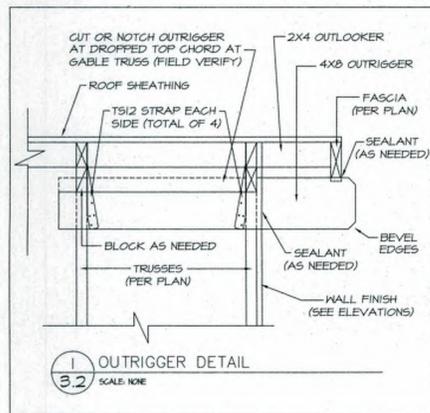
These plans are NOT FOR CONSTRUCTION or for any use without permission from the City of Clovis or without direct purchase.



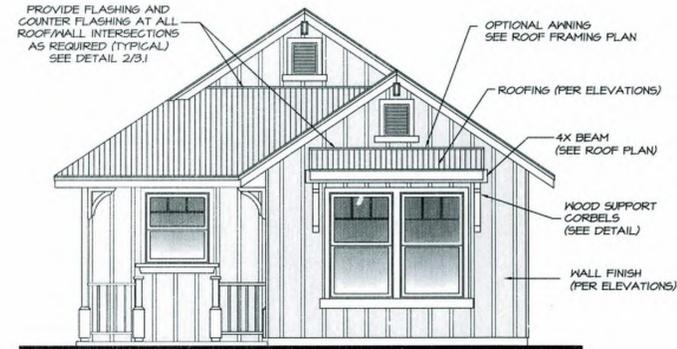
**LEFT ELEVATION - B**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION - B**  
 SCALE: 1/4" = 1'-0"



**OPTIONAL FRENCH DOORS**  
 SCALE: 1/4" = 1'-0"  
 ELEVATION - B  
 ELEVATION A&C SIMILAR



**OPTIONAL WINDOW AWNING**  
 SCALE: 1/4" = 1'-0"  
 ELEVATION - B  
 ELEVATION A&C SIMILAR

**ELEVATION NOTES**

ALL SIDING SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (TYPE 'D' BUILDING PAPER) PER CRC R103.2.  
 TWO LAYERS TYPE 'D' BUILDING PAPER UNDERLAMENT IS REQUIRED WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING CRC R103.6.3  
 ALL DECORATIVE CORBELS, BRACES AND BRACKETS MAY BE CONSTRUCTED IN FIELD PER DETAILS PROVIDED, OR OWNER MAY PURCHASE PRE-ASSEMBLED PIECES, PROVIDED THEY MATCH AS CLOSELY AS POSSIBLE TO THE PIECES SHOWN IN THE DRAWINGS AND ARE APPLIED AS PER THE PRODUCTS INSTALLATION INSTRUCTIONS.

REV	DATE	BY	CHK	SUB	DESC
01	03.27.17	ENG			
02	05.12.17	ENG			
03	06.23.17	BC			

DRAWING FILE: ELEVATION-B



DATE: 07.21.17

CWB DESIGNS

491 HERNDON AVE. #2245  
 CLOVIS, CA 93612  
 PHONE: 559.294.6534

STANDARD PLAN #1 FOR:

CITY OF CLOVIS

1033 FIFTH STREET  
 CLOVIS, CA 93612  
 PHONE: 559.324-2300



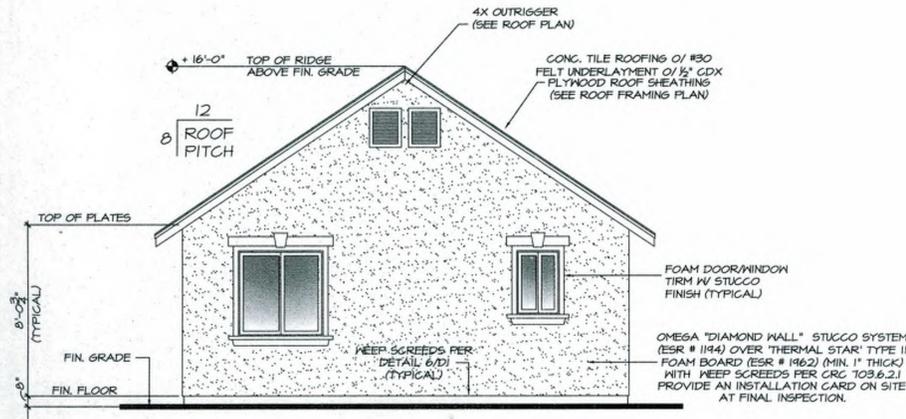
ELEVATION - B

"ALL RIGHTS RESERVED"  
 THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C.W.B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DESIGNED, WITHOUT THE WRITTEN CONSENT OF C.W.B. DESIGNS. YOUR CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.  
 [Signature]

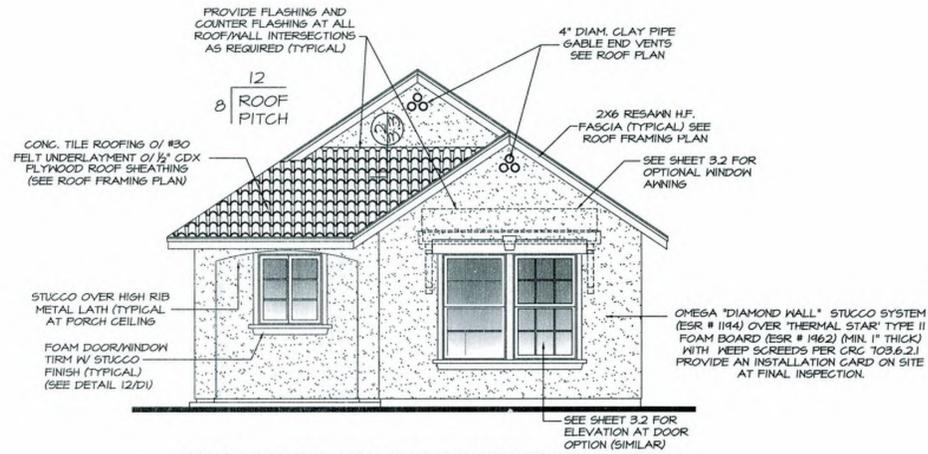
SHEET

3.2

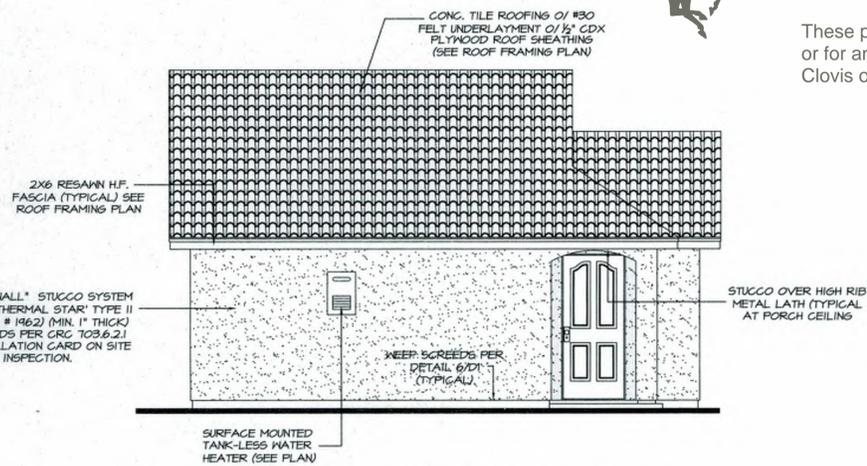
OF 19



**REAR ELEVATION - C**  
SCALE: 1/4" = 1'-0"



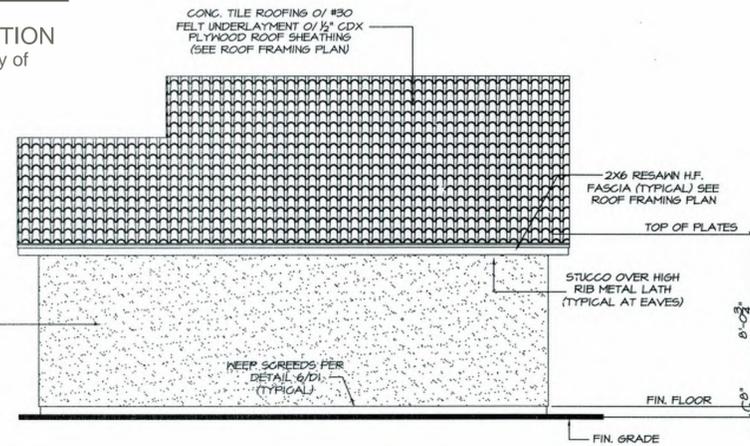
**FRONT ELEVATION - C**  
SCALE: 1/4" = 1'-0"



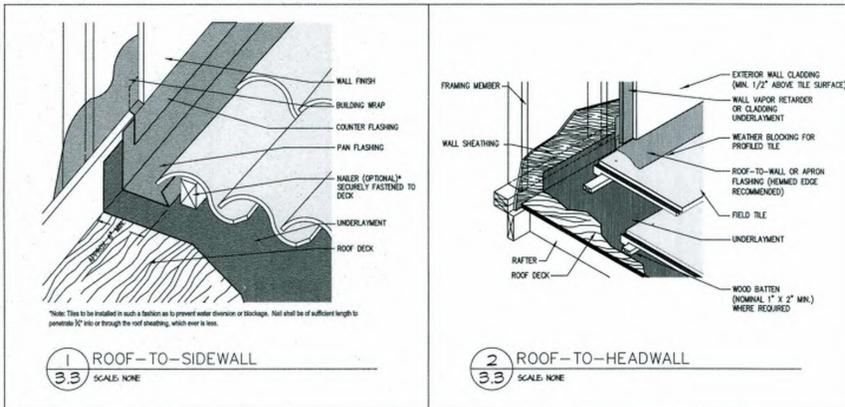
**LEFT ELEVATION - C**  
SCALE: 1/4" = 1'-0"

**CITY of CLOVIS**

These plans are NOT FOR CONSTRUCTION or for any use without permission from the City of Clovis or without direct purchase.



**RIGHT ELEVATION - C**  
SCALE: 1/4" = 1'-0"



1 ROOF-TO-SIDEWALL  
SCALE: NONE

2 ROOF-TO-HEADWALL  
SCALE: NONE

**NOT FOR CONSTRUCTION**

**ELEVATION NOTES**

- ALL LATH AND PLASTER SHALL COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL BE PROVIDED WITH KEEP SCREEDS PER CRC 103.6.2.1
- ALL STUCCO LATH SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (TYPE 'D' BUILDING PAPER) PER CRC R103.2.
- TWO LAYERS TYPE 'D' BUILDING PAPER UNDERLAYMENT IS REQUIRED WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING CRC R103.6.3
- PER ICC REPORT ESR 1194, A SPECIAL INSPECTION IS REQUIRED FOR STUCCO:
  - LATH INSTALLATION, PRIOR TO COATING APPLICATION
  - FIELD BATCHING AND MIXING OF COMPONENTS.
- ALL TILE ROOFING MUST HAVE AN ICC REPORT NUMBER. A COPY OF THE REPORT SHALL BE ON SITE DURING ROOFING INSPECTION.
- ALL DECORATIVE CORBELS, BRACES AND BRACKETS MAY BE CONSTRUCTED IN FIELD PER DETAILS PROVIDED, OR OWNER MAY PURCHASE PRE-ASSEMBLED PIECES, PROVIDED THEY MATCH AS CLOSELY AS POSSIBLE TO THE PIECES SHOWN IN THE DRAWINGS AND ARE APPLIED AS PER THE PRODUCTS INSTALLATION INSTRUCTIONS.

DATE: 07.21.17

C W B DESIGNS

491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534

STANDARD PLAN #1 FOR:

CITY OF CLOVIS

1033 FIFTH STREET  
CLOVIS, CA 93612  
PHONE: 559.324-2300

ELEVATION - C

SHEET

3.3 OF 19

"ALL RIGHTS RESERVED"  
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C. W. B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED, WITHOUT THE WRITTEN CONSENT OF C. W. B. DESIGNS. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REV	DATE	BY	CHK	APP
1	08.27.17	ENG		
2	08.27.17	SUB		
3	08.27.17	BC		

DRAWING FILE: ELEVATION-C



## SITE PLAN NOTES

PROJECTS LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR ELEVATION OF NOT LESS THAN 1' ABOVE THE 100 YEAR FLOOD LEVEL. (C.R.C. R106.11)

NO ON-SITE WATER RETENTION OR DRAINAGE ONTO ADJACENT PROPERTIES SHALL BE PERMITTED.

FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 8" ABOVE FINISHED GRADE

THE ENTIRE SITE SHALL HAVE A MINIMUM OF 0.5 PERCENT SLOPE FOR DRAINAGE. ALL WATER DRAINAGE SHALL BE TO THE STREET (OR OTHER APPROVED LOCATION).

PROVIDE A MINIMUM OF 6 INCHES OF SLOPE AWAY FROM ALL BUILDINGS FOR A DISTANCE OF AT LEAST TEN FEET. WHERE THIS REQUIREMENT CANNOT BE MET AN ALTERNATE METHOD SHALL BE REQUIRED THAT WILL PROVIDE ADEQUATE DRAINAGE. (C.R.C. 401.3) ALTERNATE DRAINAGE SHALL BE DONE USING LANDSCAPE DRAINS WITH INLETS NOT TO EXCEED 15' INTERVALS.

ANY GRADE DIFFERENTIALS GREATER THAN ONE FOOT SHALL BE DONE WITH AN APPROVED RETAINING WALL.

ALL PIPES IN TRENCHES REQUIRE MIN. 18" COVERAGE

ANY HVAC EQUIPMENT LOCATED ON SITE SHALL NOT BE LOCATED WITHIN THE BUILDING SET-BACKS.

DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAX. SLOPE OF 12 PERCENT FOR A MIN. OF 20'-0" FROM THE GARAGE. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF 18 PERCENT.

BUILDING SITE SHALL BE CLEANED AND ALL VEGETATION, TREE ROOTS OR OTHER FOREIGN MATTER SHALL BE REMOVED TO A MINIMUM DEPTH OF 12"

ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.

REPAIR ANY DAMAGED OFF-SITE CONCRETE IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT DIVISION PRIOR TO OCCUPANCY.

2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1-800-642-2444

CONSTRUCT CONCRETE SIDEWALKS, CURBS, GUTTERS AND DRIVEWAY APPROACHES TO PUBLIC WORKS STANDARDS SPECIFICATIONS.

OVER EXCAVATE THE SITE AS NEEDED TO REMOVE DEBRIS, ORGANICS AND FILLS THAT MAY BE LEFT FROM A PREVIOUS DEMOLISHED HOME OR PLANT MATERIALS. REPLACE FILLS AS NECESSARY WITH 90% COMPACTION FOR ALL FILLS GREATER THAN 6 INCHES ABOVE THE EXISTING SURROUNDINGS GRADE. COMPACTION REPORT REQUIRED.

IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING.

ALL EXTERIOR WALLS SHALL NOT BE LESS THAN 5 FEET FROM THE PROPERTY LINES

## GENERAL NOTES

CONSTRUCTION SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL (C.R.C.), MECHANICAL (C.M.C.), PLUMBING (C.P.C.) AND ELECTRICAL (C.E.C.) CODES, AND THE 2016 CALIFORNIA ENERGY CODE AS AMENDED BY LOCAL ORDINANCES.

PLANS SHALL NOT BE SCALED. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

DISCREPANCIES OR ERRORS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CORRECTION BEFORE THE WORK AFFECTED THEREBY IS BIDDED OR EXECUTED. ALL WORK SHALL COMPLY IN EVERY RESPECT WITH CURRENT GOVERNING LAWS, CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.

PROPERTY OWNER SHALL BE RESPONSIBLE FOR LOCATING, VERIFYING AND STAKING OUT ALL DIMENSIONS, GRADES AND OTHER CONDITIONS AT JOB SITE PRIOR TO THE START OF ANY WORK. ACCEPTANCE OR APPROVAL BY THE DESIGNER SHALL NOT CONSTITUTE RELIEF OF THE PROPERTY OWNER'S RESPONSIBILITY OF ACCURACY.

IT IS THE RESPONSIBILITY OF THE PROPERTY OWNERS TO VERIFY ALL FIELD MEASUREMENTS AND CONDITIONS FOR THE CONFORMANCE OF THESE PLANS. SHOULD THERE BE ANY ERRORS, OMISSIONS AND/OR DISCREPANCIES IN THE PLANS, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR PROJECT ENGINEER FOR CORRECTION AND/OR CLARIFICATION. THE PROPERTY OWNER AND DESIGNER OR PROJECT ENGINEER SHALL RESOLVE ANY ERRORS, OMISSIONS AND/OR DISCREPANCIES PRIOR TO COMMENCING WITH THAT PORTION OF THE WORK AFFECTED. ANY CHANGES MADE TO THE PLANS SHALL REQUIRE THE APPROVAL OF THE OWNER, DESIGNER AND/OR THE PROJECT ENGINEER.

PROPERTY OWNERS SHALL OBTAIN AND PAY FOR ANY PERMITS, NOTICES, INSPECTIONS OR TESTS THAT ARE REQUIRED FOR THEIR PARTICULAR WORK. EACH SUB-CONTRACTOR SHALL VISIT THE SUBJECT PROPERTY AND INSPECT THE PREMISES AND SHALL VERIFY THE WORK TO BE DONE, THE EXISTING CONDITIONS AND SHALL NOTIFY THE PROPERTY OWNER OF ANY AND ALL DISCREPANCIES PRIOR TO SUBMITTING A BID AND/OR STARTING ANY WORK.

ALL MATERIALS, EQUIPMENT AND SYSTEMS SPECIFIED IN THE PLANS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S LATEST SPECIFICATIONS.

PROVIDE STREET ADDRESS NUMERALS AT LEAST FOUR INCHES HIGH USING A 1/2" STROKE MOUNTED ON A CONTRASTING BACKGROUND AND LOCATED ON THE BUILDING AS TO BE CLEARLY VISIBLE FROM THE ALLEY PRIOR TO CALLING FOR THE FIRST INSPECTION. ALL REQUIRED ADDRESS SIGNS SHALL COMPLY WITH CITY OF CLOVIS ORDINANCES

CONCRETE COMPRESSION STRENGTH SHALL BE 2500 PSI MINIMUM IN 28 DAYS.

ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE, DEFORMED BARS CONFORMING TO A.S.T.M. GRADE 40 (W.I.O.)

ALL LUMBER SHALL BE GRADE MARKED, DF STD. OR BETTER MIN. EXCEPT AS NOTED ON PLANS. ALL POSTS SHALL BE D.F. #2 FLYWOOD SHALL BE DOUGLAS FIR CONFORMING TO PSI-14 U.S. DEPT. OF COMMERCE, AND SHALL BE GRADE STAMPED D.F.F.A.

ALL NAILINGS SHALL BE IN COMPLIANCE WITH C.R.C. TABLE R602.3(1) AND R602.3(2).

"REGISTERED" COPIES OF THE CF-3R AND CF-2R FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED INSTALLER FOR THE CF-3R FORM AND THE HERS RATER FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE CF-2R FORM

WHEN FIELD VERIFICATION IS NEEDED TO SHOW COMPLIANCE, A HERS CERTIFICATE SHALL BE PROVIDED BEFORE THE BUILDING DEPARTMENT WILL APPROVE THE FINAL INSPECTION

## COVER SHEET NOTES

THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.

THE PERMIT FOR THIS PROJECT REQUIRES FIRE SPRINKLERS. LAYOUT AND DETAILS OF THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 13D OR C.R.C. SECTION R313.3 REVIEWED AND APPROVED BY THE APPLICABLE FIRE MARSHAL PRIOR TO PERMITTING THE PLANS. THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR OR OWNER-OCCUPIED OWNER BUILDERS, AND SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE FIRE MARSHAL PRIOR TO APPROVAL OF OCCUPANCY OF THE BUILDING.

OBTAIN FIRE SPRINKLER FINAL INSPECTION APPROVAL PRIOR TO BUILDING FINAL INSPECTION.

CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.

PROVIDE TEMPORARY STREET SIGNAGE PER CLOVIS FIRE DEPARTMENT STANDARD #35. TEMPORARY STREET SIGNS ARE REQUIRED TO BE INSTALLED PRIOR TO CALLING FOR ANY INSPECTION. SIGN BACKING MATERIAL IS REQUIRED TO BE 64 HIGH WITH REFLECTORIZED MATERIAL. THE STREET NAME SHALL BE IN BLACK LETTERING 4A IN HEIGHT AND THE BLOCK NUMBERING SHALL BE 2A IN HEIGHT IN BLACK. THE BOTTOM OF THE STREET SIGN SHALL BE 4'-6" MIN. FROM GRADE. 2016 C.R.C. R106.11

## SPECIAL NOTES

A SUB-CONTRACTORS LIST IS REQUIRED FOR OWNER/BUILDER PROJECTS AND SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT UPON APPLYING FOR A PERMIT.

A COMPACTION REPORT IS REQUIRED, AS AN OPTION, THE PROPERTY OWNER MAY PROVIDE A SOILS REPORT FOR THIS PROJECT FROM A LICENSED PROFESSIONAL.

PROVIDE A "WILL SERVE" LETTER FROM AN APPROVED CONSTRUCTION DEBRIS RECYCLING/WASTE HAULER FOR THIS PROJECT. THIS LETTER IS TO BE PROVIDED BY # 4 SIGNED BY THE WASTE/RECYCLING HAULER PRIOR TO THE ISSUANCE OF ANY PERMIT. (2016 CAL. GREEN CODE 4.40B)

OBTAIN FIRE SPRINKLER FINAL INSPECTION APPROVAL PRIOR TO BUILDING FINAL INSPECTION.

THIS PROJECT DOES NOT INCLUDE LANDSCAPING, BUT IT IS UNDERSTOOD THAT PRIOR TO LANDSCAPING BEING INSTALLED, IT SHALL COMPLY WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MNELO) REQUIREMENTS PER TITLE 23 OF THE CALIFORNIA CODE OF REGULATIONS, DIVISION 2, CHAPTER 2.7 WHICH WILL REQUIRE PLANS, PERMITS AND INSPECTIONS.

ONE UNCOVERED PARKING SPACE MUST BE PROVIDED ON SITE, AND SHALL BE SHOWN ON THE CITY OF CLOVIS PLOT PLAN FORM AT THE TIME OF PERMITS.

## AREA SCHEDULE

RESIDENCE:	378 S.F.
PORCH:	60 S.F.
TOTAL COVERED AREA:	476 S.F.



CITY of CLOVIS

These plans are **NOT FOR CONSTRUCTION** or for any use without permission from the City of Clovis or without direct purchase.

## SHEET INDEX

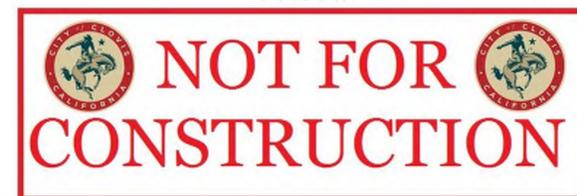
SHT.	CONTENTS
1	COVER SHEET
2	FLOOR PLAN
3.1	EXTERIOR ELEVATIONS - A
3.2	EXTERIOR ELEVATIONS - B
3.3	EXTERIOR ELEVATIONS - C
4	BUILDING SECTIONS
51	FOUNDATION PLAN & SHEARWALL PLAN
52.1	ROOF FRAMING PLAN - A
52.2	ROOF FRAMING PLAN - B
52.3	ROOF FRAMING PLAN - C
D1	TYPICAL DETAILS
D2	TYPICAL DETAILS
E1	ELECTRICAL PLAN
M-1	MECHANICAL PLAN
M-2.0	ENERGY DOCUMENTATION - FAU
M-2.1	ENERGY DOCUMENTATION - MINI SPLIT
PI	WATER AND GAS PIPING PLAN
NI	TYPICAL PLAN NOTES
CGBS	CALIFORNIA GREEN BUILDING STANDARDS

## PROJECT DATA

STANDARD PLAN #	SPN-0467-2017
PROPERTY ADDRESS	CLOVIS, CA 93612
ZONE DISTRICT:	RI
OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	VB
NO. OF STORIES:	1
ENERGY METHOD	CBECG-RES 2016.2.1 (868)
CODE EDITIONS:	2016 C.R.C., C.E.C., C.M.C., C.P.C., C.F.C. 2016 CAL. ENERGY CODE 2016 CAL. GREEN CODE

## CONSULTANTS

OWNER:	CITY OF CLOVIS 1033 FIFTH STREET CLOVIS, CA 93612 (559) 324-2300
DESIGNER:	CWB DESIGNS 491 HERNDON AVE. #2245 CLOVIS, CA 93612 (559) 244-6534
STRUCTURAL ENGINEER	ENGINEERING DESIGNS 5155 N. FIRST ST. FRESNO, CA 93710 (559) 225-2525
TRUSS MANUFACTURER	AUTOMATED BUILDING COMPONENTS 2853 S. ORANGE AVENUE FRESNO, CA 93725 (559) 485-8232
ENERGY CONSULTANT	ENERCAL SOLUTIONS 244 S. OLYMPIC ST. KERMAN, CA 93630 (559) 696-7422
FIRE SPRINKLER CONSULTANT	RMK ENGINEERING, INC. 323 W. CROMWELL AVE # 105 FRESNO, CA 93711 (559) 974-5952



07-21-2017

"ALL RIGHTS RESERVED"  
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C. W. B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND APPROVED WITHOUT THE WRITTEN CONSENT OF C. W. B. DESIGNS. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**DATE: 07.21.17**  
**C W B DESIGNS**  
 491 HERNDON AVE. #2245  
 CLOVIS, CA 93612  
 PHONE: 559.294.6534

**STANDARD PLAN #2 FOR:**  
**CITY OF CLOVIS**  
 1033 FIFTH STREET  
 CLOVIS, CA 93612  
 PHONE: 559.324-2300

**COVER SHEET**  
 SHEET **1** OF 19

REVISIONS  
 REV. DATE BY  
 03 04-21-17  
 ENG 04-21-17  
 SUB 05-12-17  
 BC 06-23-17

DRAWING FILE  
 CLOVIS/FLA001A

**CWB**  
 CLOVIS, CALIFORNIA

REVISIONS	DATE	BY
REV 03.24.17		
REV 05.12.17		
REV 06.23.17		

DRAWING FILE  
CLOVIS/FL001

**CWB**

DATE: 07.21.17

C W B DESIGNS

491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534

STANDARD PLAN #2 FOR:

CITY OF CLOVIS

1033 FIFTH STREET  
CLOVIS, CA 93612  
PHONE: 559.324-2300

FLOOR PLAN

SHEET

2 OF 19

**FLOOR PLAN NOTES**

CONSTRUCTION SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL (CRG), MECHANICAL (CMC), PLUMBING (CPC) AND ELECTRICAL (CEC) CODES, AND THE 2016 CALIFORNIA ENERGY CODE AS AMENDED BY LOCAL ORDINANCES.

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AT JOBSITE PRIOR TO THE START OF ANY WORK.

IF ERRORS ARE FOUND WITHIN THESE DRAWINGS, THE DESIGNER SHALL BE CONSULTED FOR CORRECTIONS PRIOR TO CONTINUANCE OF WORK AFFECTED.

ALL FRAMING LUMBER SHALL BE D.F. #2 OR BETTER UNLESS NOTED OTHERWISE. PROVIDE FIRE BLOCKING AT FLOORS, CEILING COVES AND SOFFITS AND AT 10'-0" INTERVALS.

PROVIDE FIRE-STOP AT ALL FURRED DOWN AREAS INCLUDING ARCHED AREAS AT MAX. 10'-0" O.C. HORIZONTAL AND VERTICAL, AND AT ALL FLOOR AND CEILING LEVELS.

PROVIDE FIRE-STOP AT ALL COLUMNS AT MAX. 10'-0" HIGH.

FINGER JOINTED STUDS MUST BE GRADE STAMPED BY AN APPROVED ICGO INSPECTION AGENCY, AND CLEARLY SPECIFIED ON PLANS. (NO FINGER JOINTED STUDS SHALL BE USED IN ANY SHEAR WALL)

WINDOW SILL HEIGHT SHALL NOT EXCEED 44" FROM THE BOTTOM OF THE NET CLEAR OPENING TO THE FINISHED FLOOR IN ALL SLEEPING ROOMS.

FLOOR AND LANDINGS ON EACH SIDE OF DOORWAYS SHALL CONFORM TO THE REQUIREMENTS OF CRC R310.3.

A. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED AND SHALL EXTEND A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL.

B. LANDINGS SHALL BE NO MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD.

C. LANDINGS MAY BE NO MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE THRESHOLD.

D. THE MINIMUM NET HEIGHT OF REQUIRED EGRESS DOORS SHALL BE NOT LESS THAN 78" MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE DOOR STOP.

• THE ATTIC ACCESS SHALL BE WEATHER-STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.

FASTENERS AND CONNECTORS IN DIRECT CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED GALVANIZED STEEL PER CRC R313.1.

GYPSUM WALL BOARD NAILING SHALL BE IN ACCORDANCE WITH CRC TABLE R102.35 PRIOR TO COVERING NAILS.

AFTER INSTALLING HVAC EQUIPMENT AND WATER HEATING SYSTEMS, THE INSTALLER SHALL SUBMIT TO THE BUILDING DEPARTMENT AND THE OWNER, REGISTERED COPIES OF THE CF-6R SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED, AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION.

• WATER CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE FIXTURE. THE WATER CLOSET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION.

CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILES IN TUB AND SHOWER AREAS. WATER RESISTIVE GYP. BOARD IS NOT PERMITTED AT THESE LOCATIONS.

REGISTERED COPIES OF THE CF-4R FORM SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED BY CERTIFIED HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING.

AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE.

JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, EQUIPPED WITH GASKETS, WEATHER-STRIPPED, OR OTHERWISE SEALED TO LIMIT INTERNAL OR EXTERNAL AIR FILTRATION.

EVERY MANUFACTURED AND SITE-BUILT FENESTRATION PRODUCT OR FENESTRATION SYSTEM INSTALLED IN CONSTRUCTION SUBJECT TO TITLE 24, PART 6 SHALL HAVE ATTACHED TO IT A CLEARLY VISIBLE TEMPORARY LABEL OR HAVE AN ASSOCIATED LABEL CERTIFICATE THAT LISTS THE U-FACTOR, THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF THAT PRODUCT AND THE METHOD USED TO DERIVE THOSE VALUES, AND CERTIFIES COMPLIANCE WITH AIR LEAKAGE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE SECTION 116(A) 1. THE LABEL SHALL NOT BE REMOVED UNTIL APPROVED BY THE BUILDING INSPECTOR.

• SHEET ROCK NAILING INSPECTION IS REQUIRED PER R101.4.2. NAILING SHALL BE IN ACCORDANCE WITH TABLE R102.35 (SEE SHEET 4)

• VERTICAL CLEARANCE ABOVE THE COOKING SURFACE TO COMBUSTIBLES SHALL BE 30" UNPROTECTED, OR 24" PROTECTED, AND HORIZONTAL CLEARANCES SHALL BE PER THE PERMANENT MARKINGS LISTED ON THE UNIT.

• BLOWN OR POURED TYPE INSULATION MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED MORE THAN 25:12 PITCH.

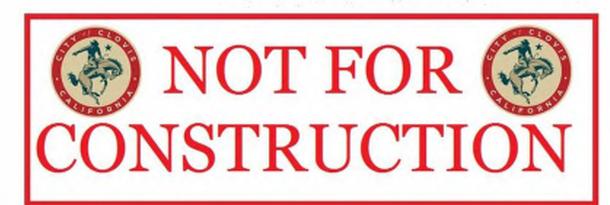
**GREEN BUILDING STANDARDS**

THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.26 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U. S. EPA WATER SENSE SPECIFICATION FOR TANK-TYPE TOILETS.

SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWER HEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U. S. EPA WATER SENSE SPECIFICATION FOR SHOWER HEADS. (VOLUME IS LIMITED TO 2.0 GALLONS PER SHOWER AREA REGARDLESS OF THE NUMBER OF SHOWER HEADS)

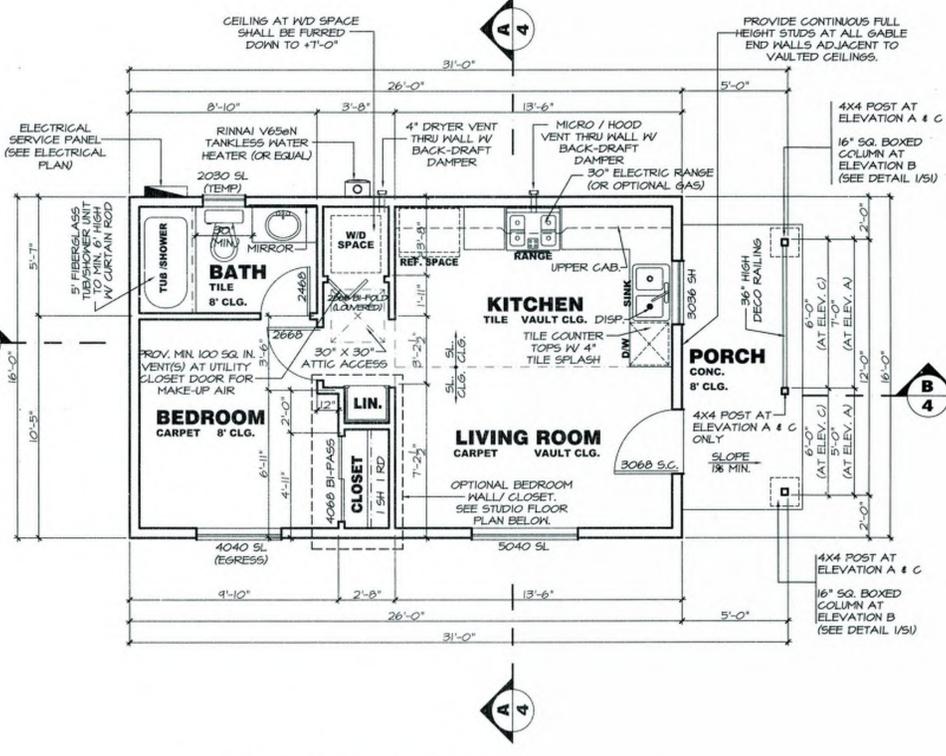
THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.

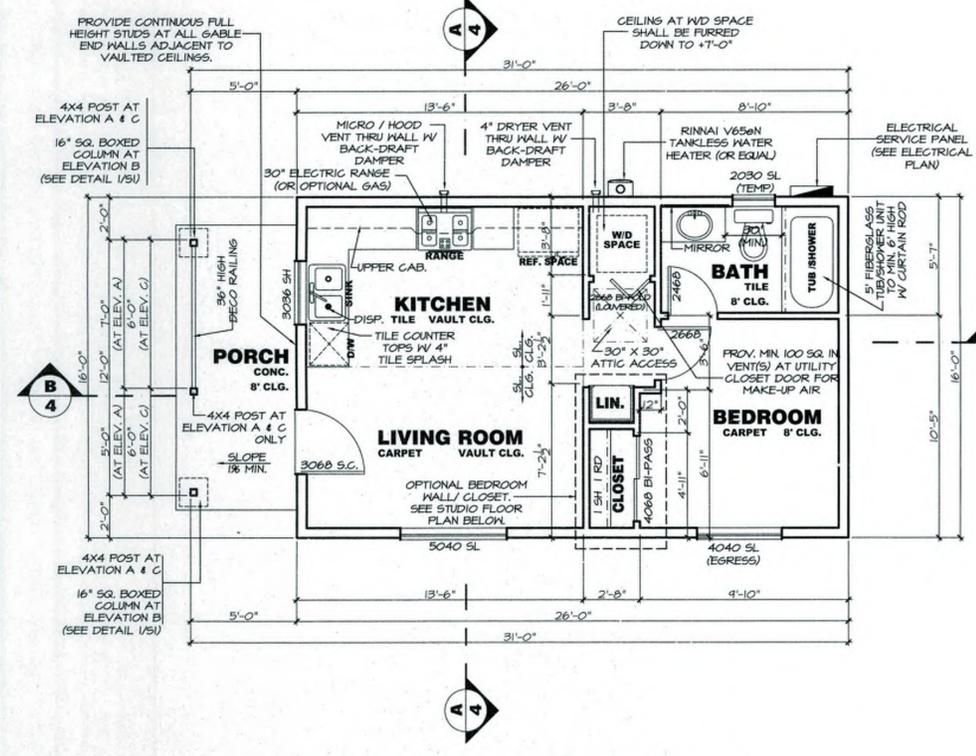


AREA SCHEDULE	
RESIDENCE:	378 S.F.
PORCH:	60 S.F.
TOTAL COVERED AREA:	438 S.F.

"ALL RIGHTS RESERVED"  
THE ABOVE DRAWINGS AND SPECIFICATIONS AND DESIGNATIONS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C. W. B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED, WITHOUT THE WRITTEN CONSENT OF C. W. B. DESIGNS. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE A BREACH OF THESE RESTRICTIONS. EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
1 BEDRM PLAN  
378 S.F.



**REVERSE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
1 BEDRM PLAN  
378 S.F.



**CITY of CLOVIS**

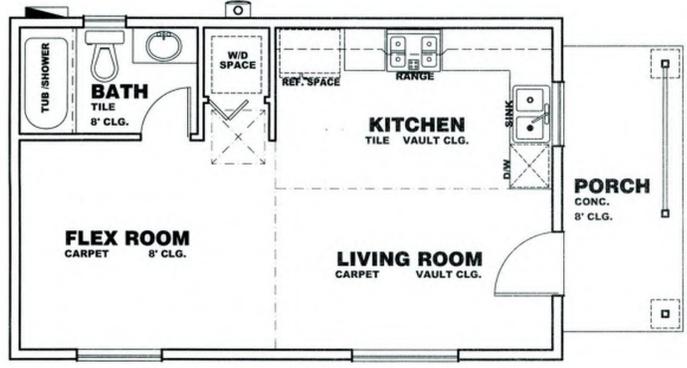
These plans are **NOT FOR CONSTRUCTION** or for any use without permission from the City of Clovis or without direct purchase.

**WATER HEATING MANDATORY MEASURES**

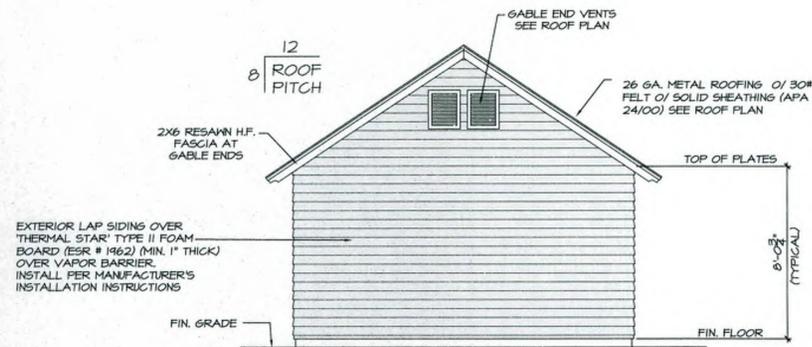
WATER HEATING SYSTEMS USING GAS TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING COMPONENTS:

- A) A 120 VOLT ELECTRICAL RECEPTACLE WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS
- B) A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED.
- C) A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINAGE WITHOUT PUMP ASSISTANCE.
- D) A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR.

MINIMUM 1" THICK PIPE INSULATION SHALL BE INSTALLED ON HOT WATER PIPES FROM THE WATER HEATER TO THE KITCHEN FIXTURES.

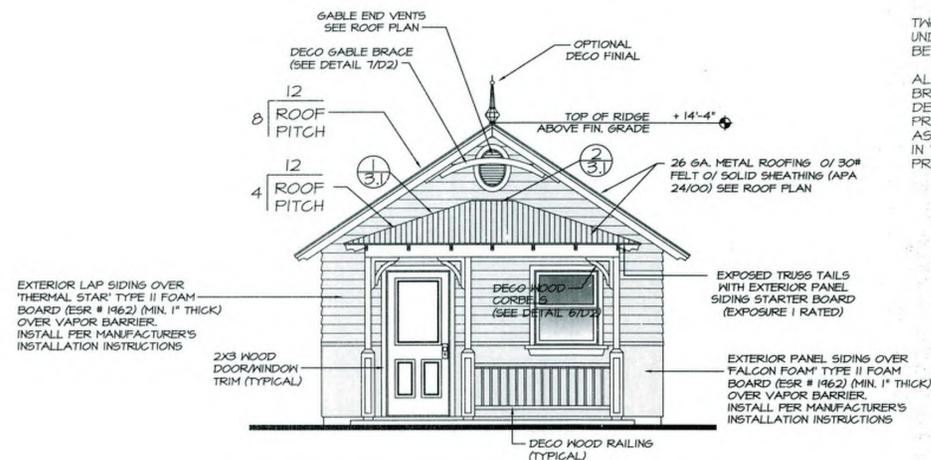


SEE 1 BEDROOM FLOOR PLAN FOR TYPICAL NOTES AND DIMENSIONS.  
**STUDIO FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION - A**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION - A**

SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

ALL SIDING SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (TYPE 'D' BUILDING PAPER) PER CRC R103.2.

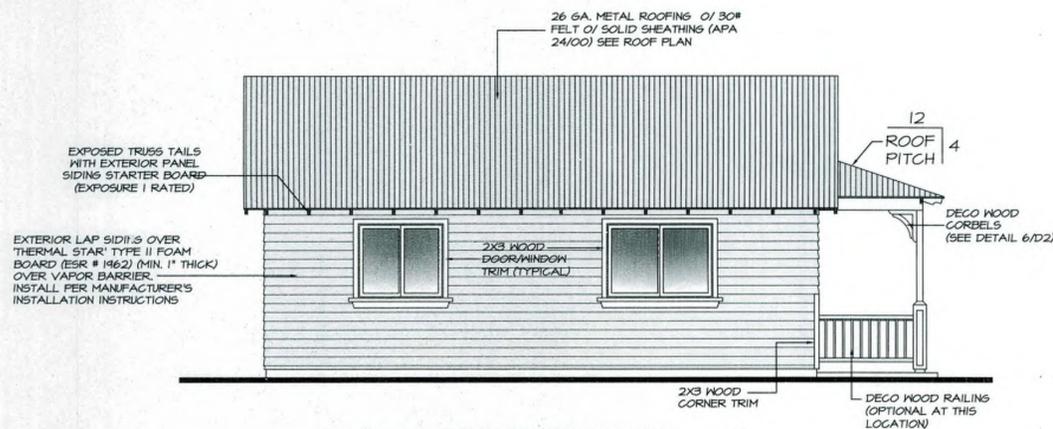
TWO LAYERS TYPE 'D' BUILDING PAPER UNDERLAYMENT IS REQUIRED WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING CRC R103.6.3

ALL DECORATIVE CORBELS, BRACES AND BRACKETS MAY BE CONSTRUCTED IN FIELD PER DETAILS PROVIDED, OR OWNER MAY PURCHASE PRE-ASSEMBLED PIECES, PROVIDED THEY MATCH AS CLOSELY AS POSSIBLE TO THE PIECES SHOWN IN THE DRAWINGS AND ARE APPLIED AS PER THE PRODUCTS INSTALLATION INSTRUCTIONS.



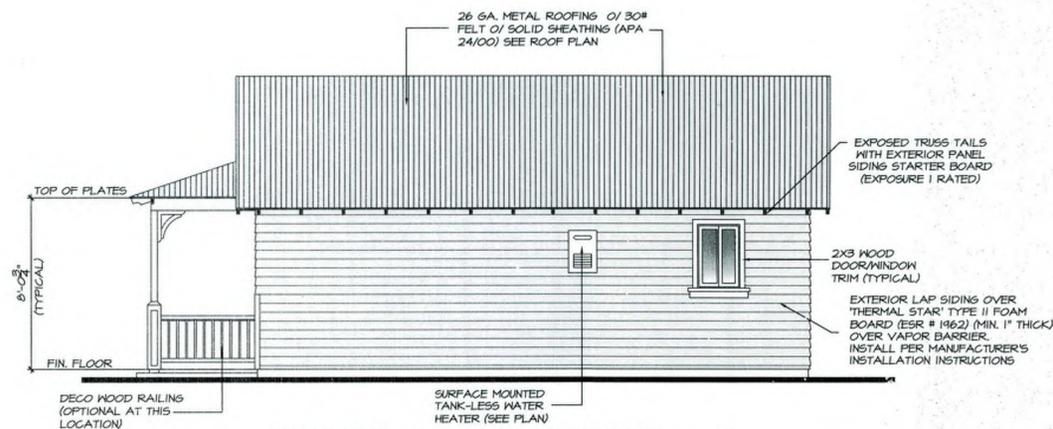
**CITY of CLOVIS**

These plans are **NOT FOR CONSTRUCTION** or for any use without permission from the City of Clovis or without direct purchase.



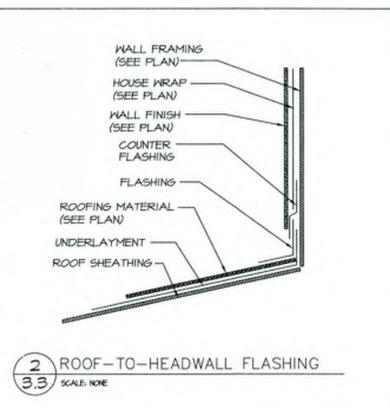
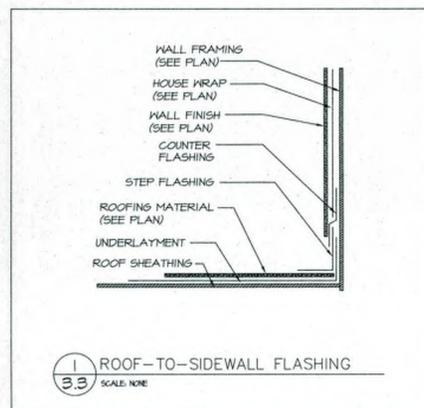
**LEFT ELEVATION - A**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION - A**

SCALE: 1/4" = 1'-0"



**NOT FOR CONSTRUCTION**

"ALL RIGHTS RESERVED"  
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C. N. B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF C. N. B. DESIGNS. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

DATE: 07.21.17

C W B DESIGNS

491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534



STANDARD PLAN #2 FOR:

CITY OF CLOVIS

1033 FIFTH STREET  
CLOVIS, CA 93612  
PHONE: 559.324-2300

ELEVATION - A

SHEET

3.1

OF 19

REVISIONS

REV	DATE	BY	CHK	APP
1	04.24.17	ENG		
2	04.24.17	ENG		
3	05.11.17	SUB		
4	06.23.17	BC		

DRAWING FILE: ELEVATIONS.AIA

REV	DATE	DESCRIPTION
1	04.21.17	ISSUED FOR PERMITS
2	04.21.17	ENG. CHANGES
3	05.12.17	SUB. CHANGES
4	06.23.17	BC

DRAWING FILE  
ELEVATION-B

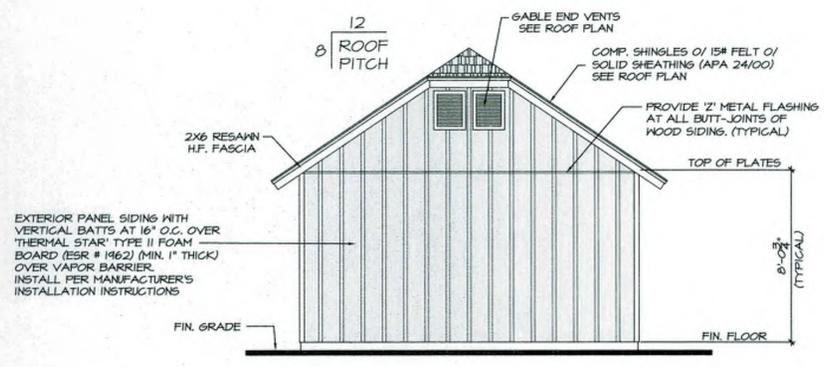
**CWB**

### ELEVATION NOTES

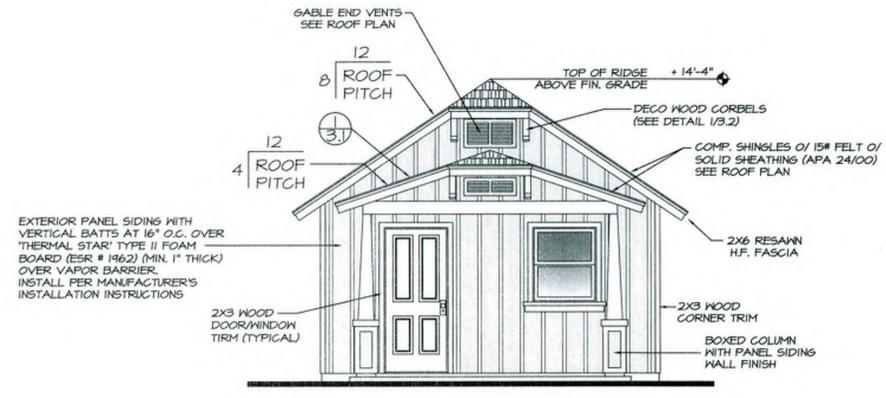
ALL SIDING SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (TYPE 'D' BUILDING PAPER) PER CRC R103.2.

TWO LAYERS TYPE 'D' BUILDING PAPER UNDERLAYMENT IS REQUIRED WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING CRC R103.6.3

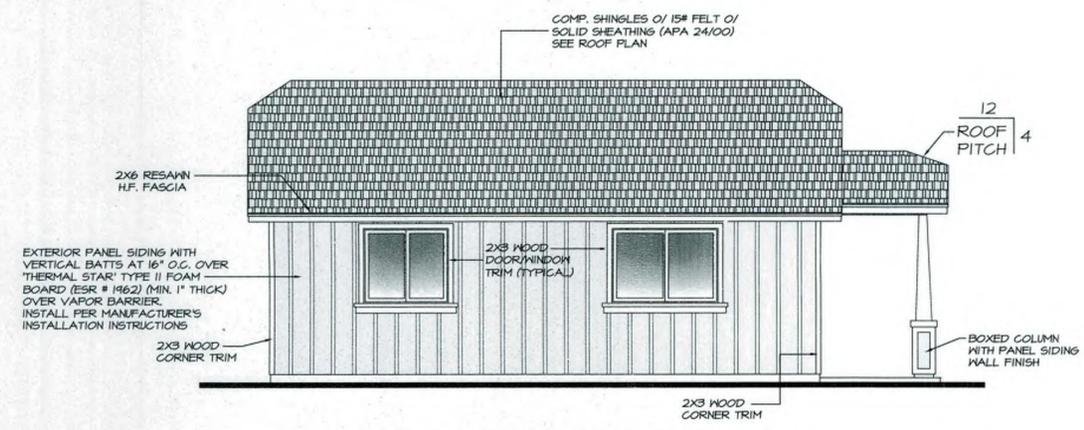
ALL DECORATIVE CORBELS, BRACES AND BRACKETS MAY BE CONSTRUCTED IN FIELD PER DETAILS PROVIDED, OR OWNER MAY PURCHASE PRE-ASSEMBLED PIECES, PROVIDED THEY MATCH AS CLOSELY AS POSSIBLE TO THE PIECES SHOWN IN THE DRAWINGS AND ARE APPLIED AS PER THE PRODUCTS INSTALLATION INSTRUCTIONS.



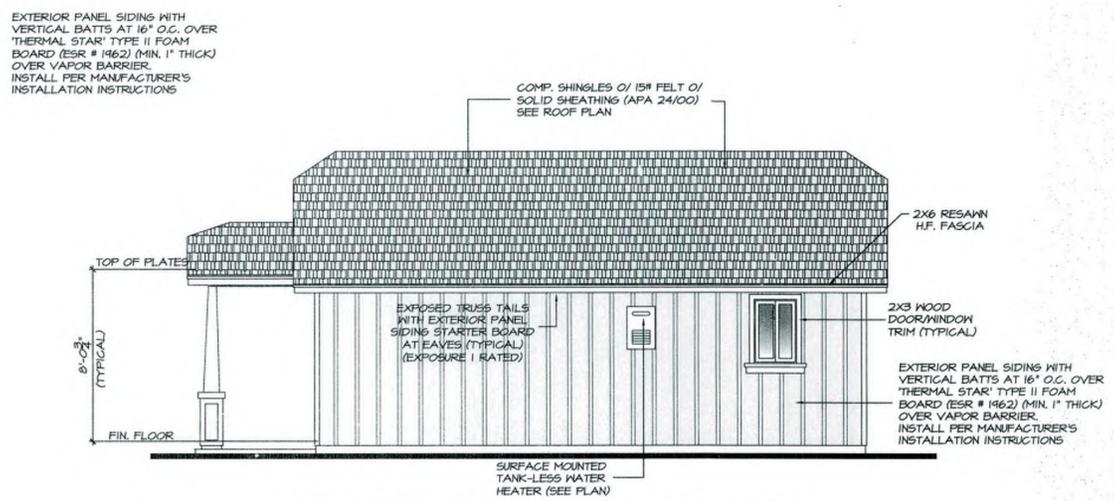
**REAR ELEVATION - B**  
SCALE: 1/4" = 1'-0"



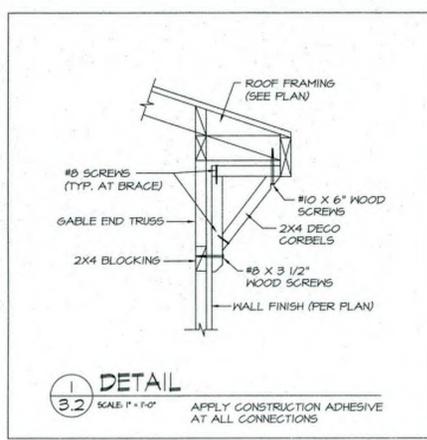
**FRONT ELEVATION - B**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION - B**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION - B**  
SCALE: 1/4" = 1'-0"



CITY OF CLOVIS

These plans are NOT FOR CONSTRUCTION or for any use without permission from the City of Clovis or without direct purchase.

**NOT FOR CONSTRUCTION**

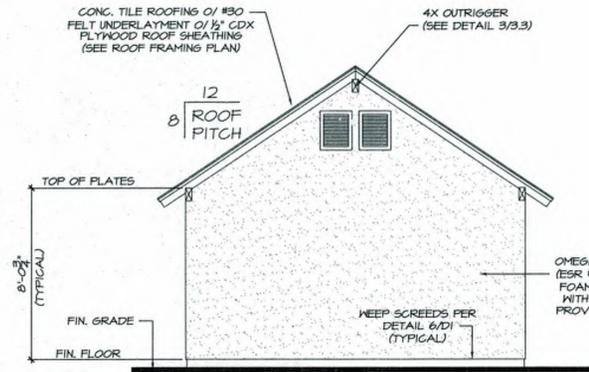
DATE: 07.21.17  
CWB DESIGNS  
491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534

STANDARD PLAN #2 FOR:  
CITY OF CLOVIS  
1933 FIFTH STREET  
CLOVIS, CA 93612  
PHONE: 559.324-2300  
ELEVATION - B

"ALL RIGHTS RESERVED"  
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C. W. B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED, WITHOUT THE WRITTEN CONSENT OF C. W. B. DESIGNS. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

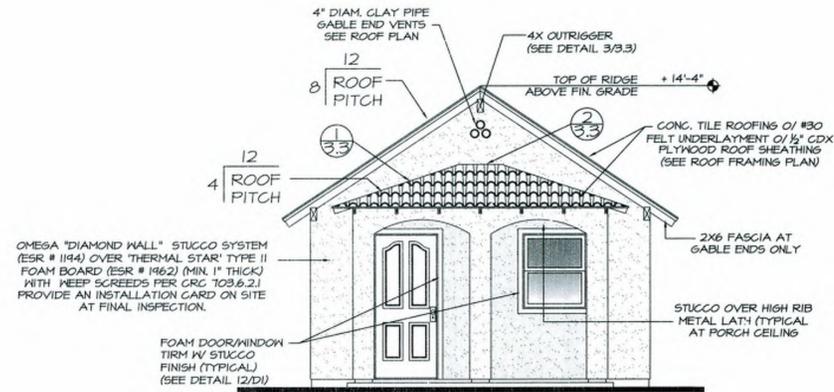
SHEET 3.2 OF 19

*Art Wilson*



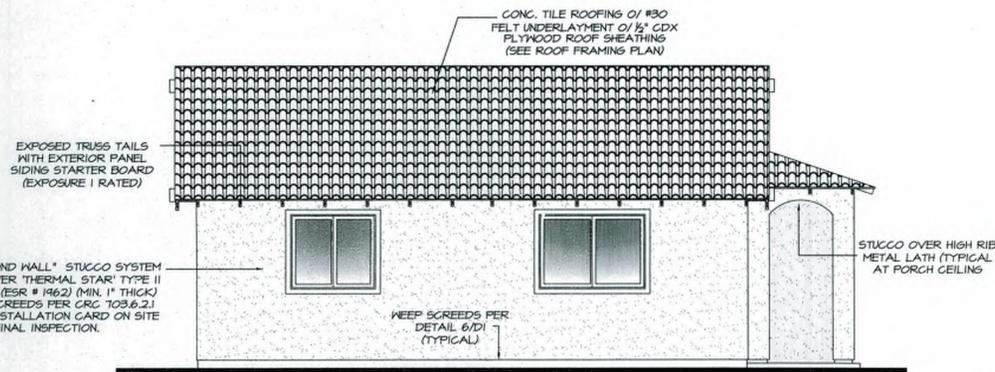
**REAR ELEVATION - C**

SCALE: 1/4" = 1'-0"



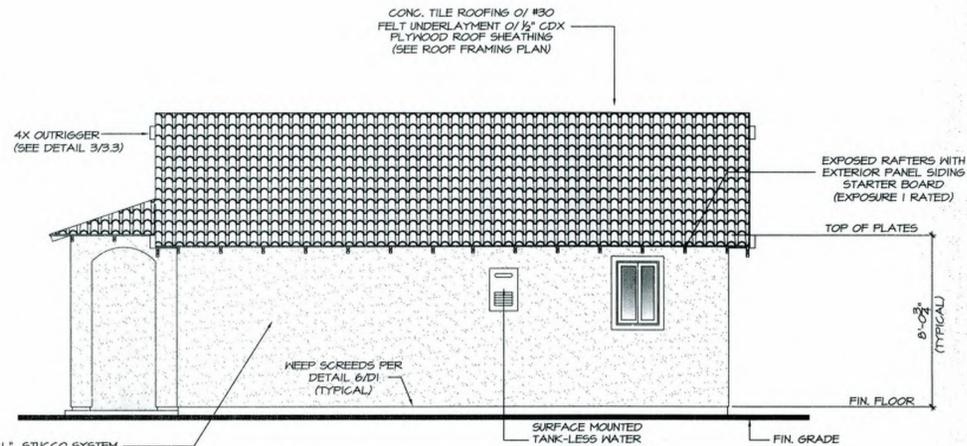
**FRONT ELEVATION - C**

SCALE: 1/4" = 1'-0"



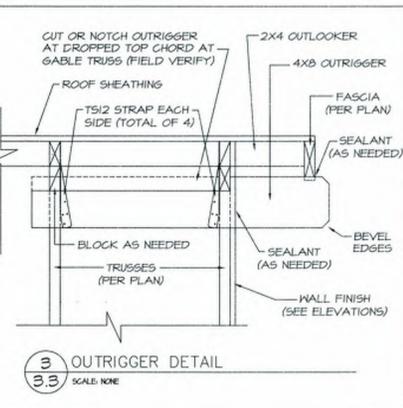
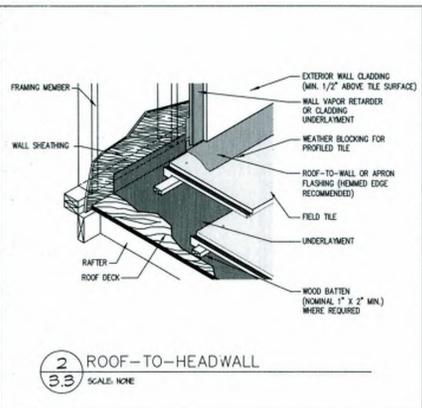
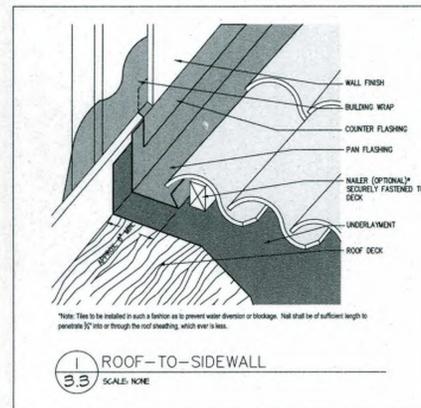
**LEFT ELEVATION - C**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION - C**

SCALE: 1/4" = 1'-0"



**ELEVATION NOTES**

- ALL LATH AND PLASTER SHALL COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL BE PROVIDED WITH KEEP SCREEDS PER CRC 103.6.2.1
- ALL STUCCO LATH SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (TYPE 'D' BUILDING PAPER) PER CRC R103.2.
- TWO LAYERS TYPE 'D' BUILDING PAPER UNDERLAYMENT IS REQUIRED WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING CRC R103.6.3
- PER ICC REPORT ESR 1194, A SPECIAL INSPECTION IS REQUIRED FOR STUCCO:
- LATH INSTALLATION, PRIOR TO COATING APPLICATION
  - FIELD BATCHING AND MIXING OF COMPONENTS.
- ALL TILE ROOFING MUST HAVE AN ICC REPORT NUMBER. A COPY OF THE REPORT SHALL BE ON SITE DURING ROOFING INSPECTION.
- ALL DECORATIVE CORBELS, BRACES AND BRACKETS MAY BE CONSTRUCTED IN FIELD PER DETAILS PROVIDED, OR OWNER MAY PURCHASE PRE-ASSEMBLED PIECES, PROVIDED THEY MATCH AS CLOSELY AS POSSIBLE TO THE PIECES SHOWN IN THE DRAWINGS AND ARE APPLIED AS PER THE PRODUCTS INSTALLATION INSTRUCTIONS.

DATE: 07.21.17

C W B DESIGNS

491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534



STANDARD PLAN #2 FOR:

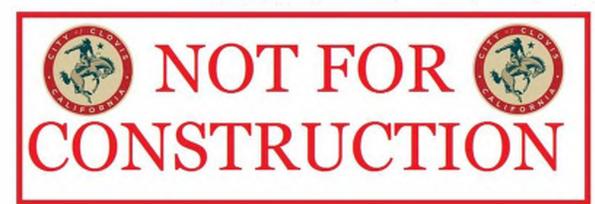
CITY OF CLOVIS

1933 FIFTH STREET  
CLOVIS, CA 93612  
PHONE: 559.324-2300



CITY OF CLOVIS

These plans are NOT FOR CONSTRUCTION or for any use without permission from the City of Clovis or without direct purchase.



SHEET

3.3 OF 19

ELEVATION - C

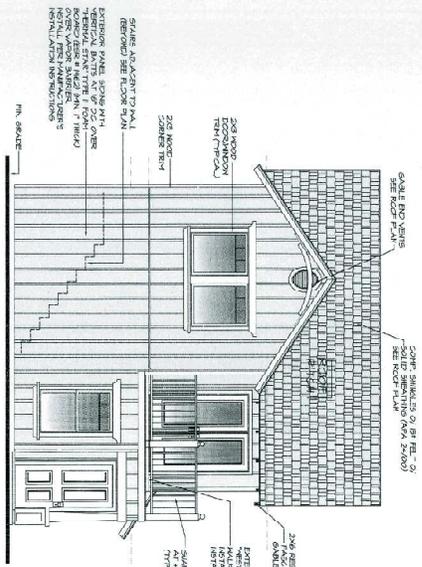
"ALL RIGHTS RESERVED"  
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C. W. B. DESIGNS AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED, WITHOUT THE WRITTEN CONSENT OF C. W. B. DESIGNS. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



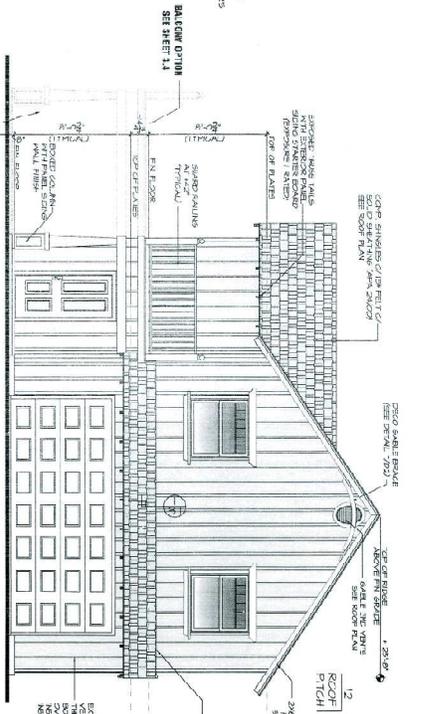




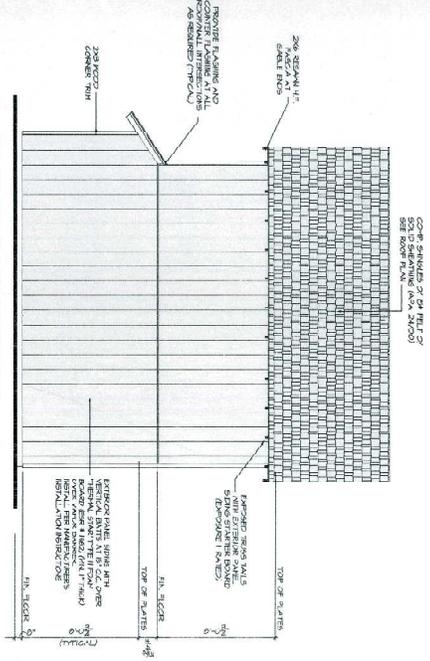




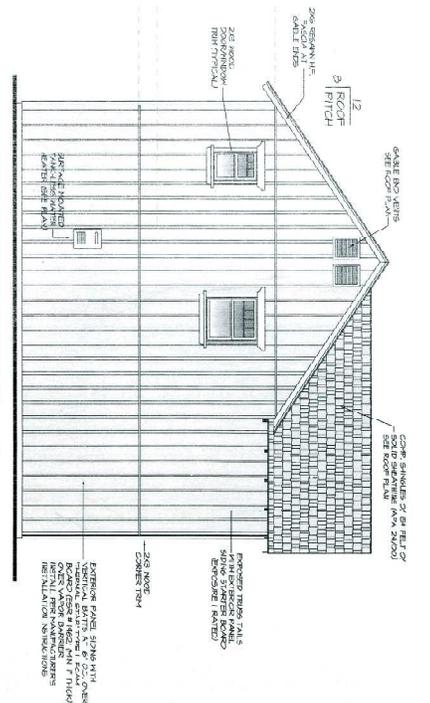
**LEFT ELEVATION - A**  
THIS ELEVATION MAY BE THE ALLEY  
SCALE: 1/4" = 1'-0"



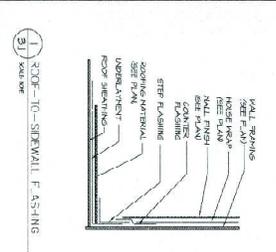
**FRONT ELEVATION - A**  
THIS ELEVATION MAY BE THE ALLEY  
SCALE: 1/4" = 1'-0"



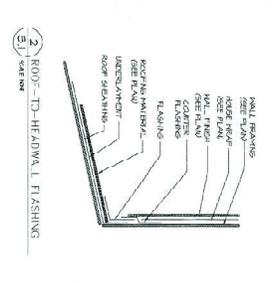
**RIGHT ELEVATION - A**  
THIS ELEVATION MAY BE THE ALLEY  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION - A**  
THIS ELEVATION MAY BE THE ALLEY  
SCALE: 1/4" = 1'-0"



1 ROOF-TO-SHEATH L-FLASHING  
SEE PLAN



2 ROOF-TO-HEADWALL L-FLASHING  
SEE PLAN

**ELEVATION NOTES**

ALL SINKING SHALL BE APPLIED OVER A NEATER  
UNLESS NOTED OTHERWISE. SEE PLAN FOR  
TYPICAL DETAILS.  
TWO LAYERS OF 1/2" GYPSUM BOARD SHALL  
BE APPLIED OVER ROOF SHEATHING AND  
STUDS.  
ALL ROOFING SHALL BE APPLIED OVER  
DETAILS SHOWN. SEE PLAN FOR  
TYPICAL DETAILS.  
IN THE DRAWINGS AND ARE APPLIED AS PER THE  
NOTES AND ALTERNATION NUMBER 1000.

**NOT FOR  
CONSTRUCTION**



ALL RIGHTS RESERVED  
CWB DESIGNS  
491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534

SHEET  
**3.1**  
OF 25

**ELEVATION A**

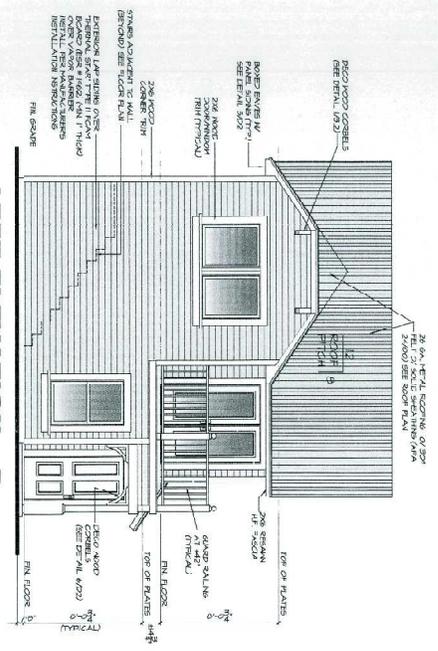
**STANDARD PLAN #3 FOR:**  
**CITY OF CLOVIS**  
1033 FIFTH STREET  
CLOVIS, CA 93612  
PHONE: 559.324-2300

**DATE: 11.13.17**  
**C W B DESIGNS**  
491 HERNDON AVE. #2245  
CLOVIS, CA 93612  
PHONE: 559.294.6534

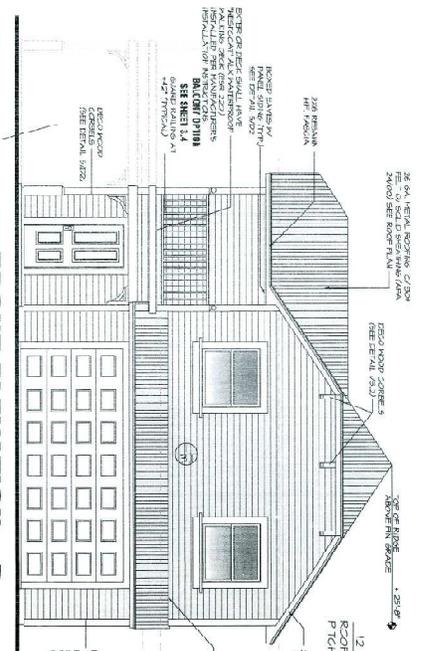


REVISIONS	DATE
REV 01	11.13.17
REV 02	11.13.17
REV 03	11.13.17
REV 04	11.13.17
REV 05	11.13.17
REV 06	11.13.17
REV 07	11.13.17
REV 08	11.13.17
REV 09	11.13.17
REV 10	11.13.17

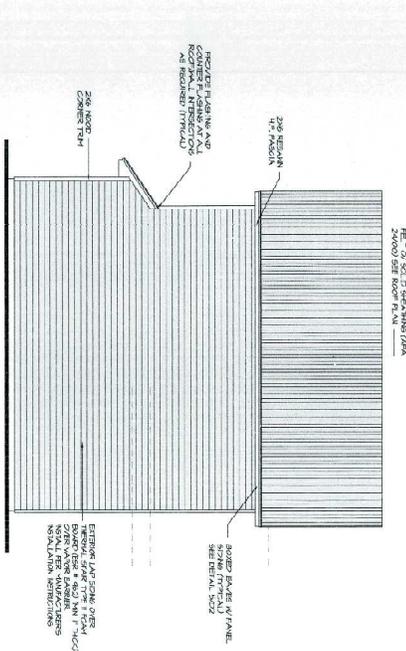
DRAWING FILE  
11/13/17



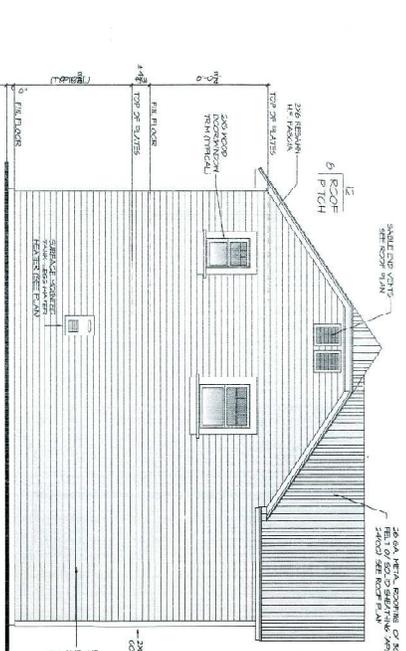
**LEFT ELEVATION - B**  
 THIS ELEVATION NOT FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



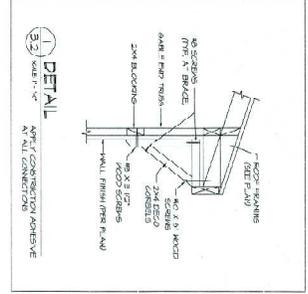
**FRONT ELEVATION - B**  
 THIS ELEVATION NOT FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION - B**  
 THIS ELEVATION NOT FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**REAR ELEVATION - B**  
 THIS ELEVATION NOT FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**NOT FOR CONSTRUCTION**

**ELEVATION NOTES**

1. ELEVATIONS SHALL BE APPLIED OVER A NEATER FINISH SURFACE THAN THE BUILDING FINISH.

2. THE LAYERS TYPE TO BUILDING PAPER UNDERLAYMENT IS REQUIRED UNLESS LAYERS TO BE APPLIED OVER PAPER SHALL BE INDICATED IN THE DRAWINGS AND APPLIED AS PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

3. ALL MATERIALS TO BE USED SHALL BE FIELD PER APPROVED SPECIFICATIONS AND SHALL BE AS SHOWN IN THE DRAWINGS AND APPLIED AS PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

APPROVED FOR THE CITY OF CLOVIS

City of Clovis, Planning and Development Department

11-13-17

11-13-17

SHEET **3.2** OF 2.5 **ELEVATION B**

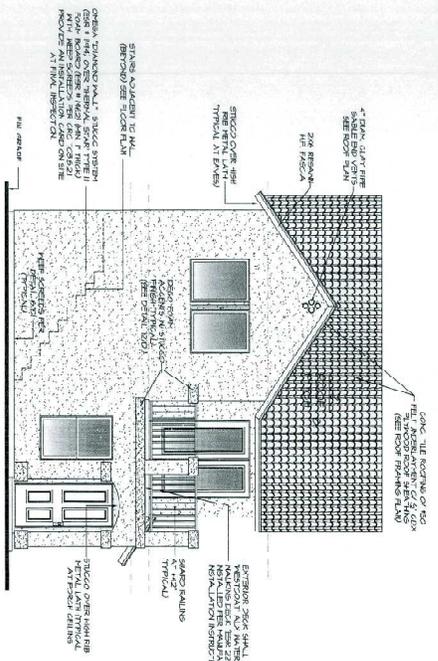
**STANDARD PLAN #3 FOR:**  
**CITY OF CLOVIS**  
 1033 FIFTH STREET  
 CLOVIS, CA 93612  
 PHONE: 559.324-2300

**DATE: 11.13.17**

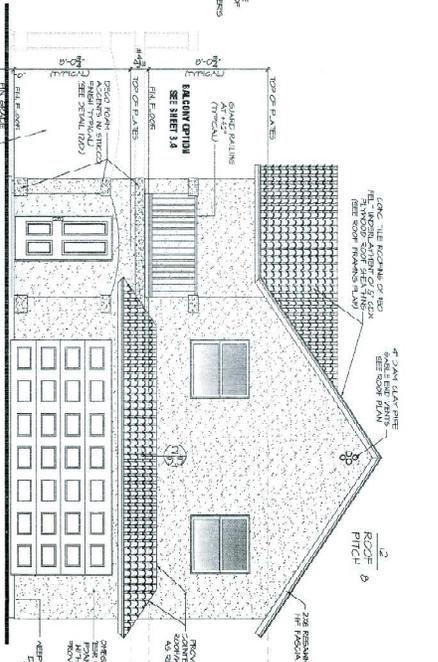
**C W B DESIGNS**  
 491 HERNDON AVE. #2245  
 CLOVIS, CA 93612  
 PHONE: 559.294.6534

**CWB** DRAWING FILE

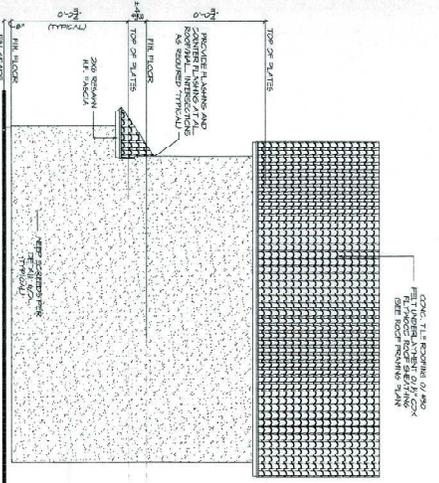
REV	DATE
1	11-13-17
2	11-13-17
3	11-13-17
4	11-13-17
5	11-13-17
6	11-13-17
7	11-13-17
8	11-13-17
9	11-13-17
10	11-13-17



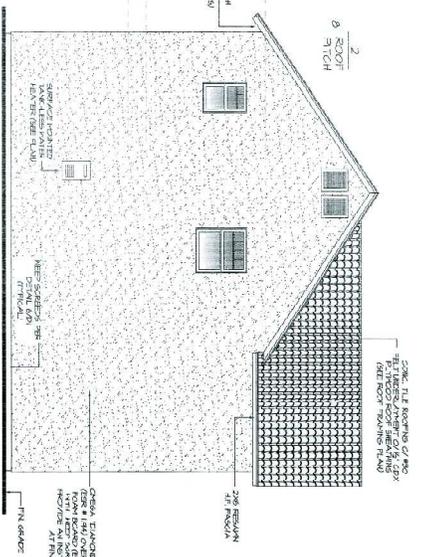
**LEFT ELEVATION - C**  
 THIS ELEVATION MAY FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



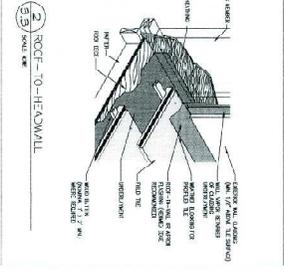
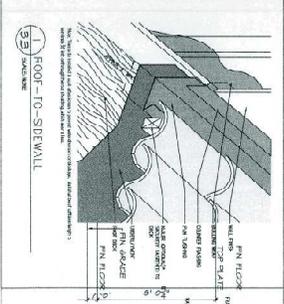
**FRONT ELEVATION - C**  
 THIS ELEVATION MAY FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION - C**  
 THIS ELEVATION MAY NOT FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**REAR ELEVATION - C**  
 THIS ELEVATION MAY NOT FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**ELEVATION NOTES**

- ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE CITY ENGINEER AND SHALL BE PROVIDED WITH KEY SHEETS PER CMC 109.02(A).
- ALL STRUCTURAL LATH SHALL BE APPLIED OVER ALL EXPOSED CONCRETE SURFACES PER CMC 109.02(B).
- THIS DRAWING IS THE PROPERTY OF C W B DESIGNS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF C W B DESIGNS.
- THESE DRAWINGS AND ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF C W B DESIGNS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF C W B DESIGNS.
- ALL THE SCENES MUST HAVE AN AS REPORT NUMBER A COPY OF THE REPORT SHALL BE ON THE DRAWING RECORDING INFORMATION.
- ALL CONCRETE SHALL BE CAST AND CURED PER THE SPECIFICATIONS AND PER THE DETAIL AS PROVIDED. THE OWNER MAY PACKAGE AND CURE CONCRETE TO THE FIELD SHOWN IN THE DRAWINGS AND NOT APPLY AS PER THE DETAIL AS PROVIDED.
- ALL THE SCENES MUST HAVE AN AS REPORT NUMBER A COPY OF THE REPORT SHALL BE ON THE DRAWING RECORDING INFORMATION.
- ALL CONCRETE SHALL BE CAST AND CURED PER THE SPECIFICATIONS AND PER THE DETAIL AS PROVIDED. THE OWNER MAY PACKAGE AND CURE CONCRETE TO THE FIELD SHOWN IN THE DRAWINGS AND NOT APPLY AS PER THE DETAIL AS PROVIDED.

**NOT FOR CONSTRUCTION**



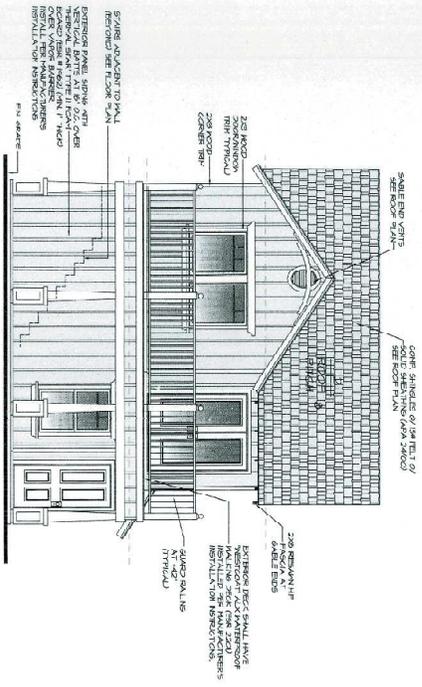
SHEET **3.3** OF 25 **ELEVATION C**

**STANDARD PLAN #3 FOR:**  
**CITY OF CLOVIS**  
 1033 FIFTH STREET  
 CLOVIS, CA 93612  
 PHONE: 559.324-2300

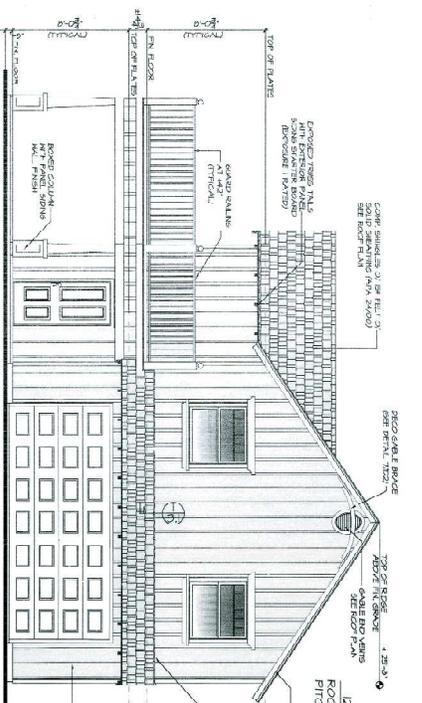
**DATE: 11.13.17**  
**C W B DESIGNS**  
 491 HERNDON AVE. #2245  
 CLOVIS, CA 93612  
 PHONE: 559.294.6534

REVISIONS	DATE
REV 01	04.23.17
REV 02	06.30.17
REV 03	08.15.17
REV 04	10.02.17
REV 05	11.13.17

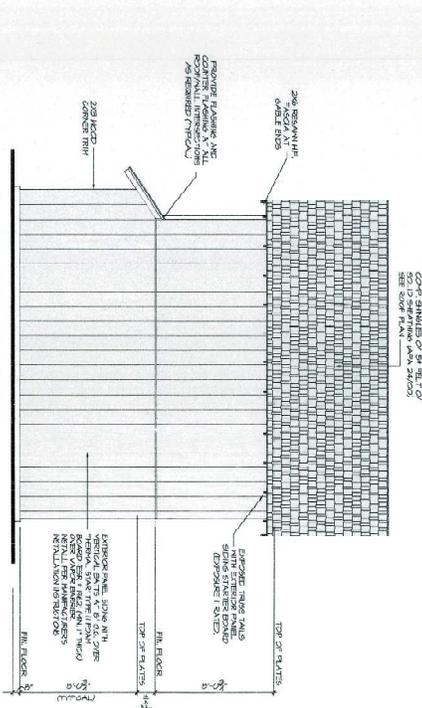
DRAWING FILE: C:\CWB\BLANK.DWG



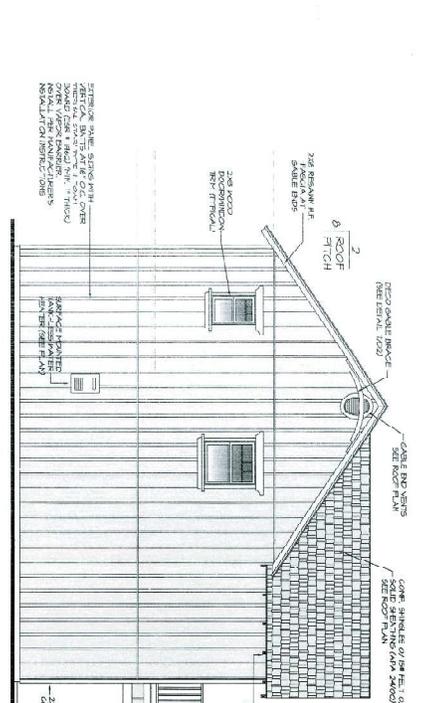
**LEFT ELEVATION - A**  
 THE ELEVATION  
 FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**FRONT ELEVATION - A**  
 THE ELEVATION  
 FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION - A**  
 THE ELEVATION  
 FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"



**REAR ELEVATION - A**  
 THE ELEVATION  
 FACE THE ALLEY  
 SCALE: 1/4" = 1'-0"

THESE ELEVATIONS REPRESENT THE REQUIREMENTS FOR THE OPTIONAL CARPORT / BALCONY ONLY. SEE SHEETS S.1-1 - S.1-3 FOR ELEVATION SPECIFIC REQUIREMENTS

**NOT FOR CONSTRUCTION**

**ELEVATION NOTES**

- ALL SHINGLES SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (WRB) AND BUILDING PAPER PER CALIFORNIA CODE REGS. 71501.1 AND 71501.2.
- TWO LATHES TYPE "D" BUILDING CORNER BRACKETS ARE REQUIRED OVER ROOF SHEATHING PER CALIFORNIA CODE REGS. 71501.5 AND 71501.6.
- DECORATIVE CORNICE BRACKETS ARE PERMITTED OVER ROOF SHEATHING PER CALIFORNIA CODE REGS. 71501.5 AND 71501.6.
- ALL SHINGLES SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (WRB) AND BUILDING PAPER PER CALIFORNIA CODE REGS. 71501.1 AND 71501.2.
- ALL SHINGLES SHALL BE APPLIED OVER A WEATHER RESISTIVE BARRIER (WRB) AND BUILDING PAPER PER CALIFORNIA CODE REGS. 71501.1 AND 71501.2.



ALL DESIGN REVISIONS SHALL BE MADE TO THE DRAWING BY THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CITY OF CLOVIS DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED. THE CITY OF CLOVIS DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED.

STANDARD PLAN #3 FOR:  
**CITY OF CLOVIS**  
 1033 FIFTH STREET  
 CLOVIS, CA 93612  
 PHONE: 559.324.2300

DATE: **11.13.17**  
**C W B DESIGNS**  
 491 HERNDON AVE. #2245  
 CLOVIS, CA 93612  
 PHONE: 559.294.6534

REVISIONS	REV	DATE
1	04.13.17	04.13.17
2	06.20.17	06.20.17
3	08.15.17	08.15.17
4	10.26.17	10.26.17
5	11.15.17	11.15.17



SHEET  
**3.4**  
 OF 25

**CARPORT ELEVATION**

**From:** [Ana Cortez](#)  
**To:** [Lilith Vespier](#)  
**Cc:** [John Sutherland](#)  
**Subject:** FW: Workforce Housing  
**Date:** Tuesday, August 11, 2020 8:28:18 AM

---

Lilith, see the email below; it has some really good information for the Housing committee. Do you think we can talk about these ideas at the next committee?

**Ana Cortez-Steiner/City Administrator**

**Twitter- @BavarianTown**

*City of Leavenworth*

*509 548-5275 EXT 124*

*700 Hwy 2*

*Post Office Box 287*

*Leavenworth WA 98826*

*(509) 548-5275 ext. 124*

---

**From:** John Sutherland <jasutherland1@hotmail.com>  
**Sent:** Wednesday, July 22, 2020 12:47 PM  
**To:** Ana Cortez <acortez@cityofleavenworth.com>  
**Subject:** Workforce Housing

Hi Anna,

First, I want to thank you for the great conversation yesterday. It was great to meet you and also hear about your goals regarding workforce housing. I know that issue is of particular importance to the mayor.

I will be sending a separate email regarding the adventure park CUP in the next few days.

As I said in our meeting, and in my message on the phone yesterday, I appreciate and share concern about workforce housing in resort communities. It's been a pretty classic issue, that has been tackled with varying degrees of success.

Vail, CO-Vail Racquet Club

As I also said in my phone message, I was the lucky recipient of supplemented workforce housing when I lived and worked in Vail, Colorado. In that case, I had an awesome little one-bedroom apartment at the Vail Racquet Club. The general details (it was a long time ago), was that the developer was required to build and offer a certain number of units for workforce housing in order to build the size of development they wanted. So, there were a number of small, one bedroom (430 sq. ft) units made available. I was lucky enough to get one. I believe those condos are now short-term rentals, and referred to as Junior One-Bedrooms.

Vail, CO-Pitkin Creek Condos

At the same time I was in the racquet club, my best friends and mentors bought a condo at Pitkin

Creek. At that time, interest rates were about 18% - super high. The high interest rates basically halted all development, and so there was no way for a local to afford to buy. So the Town of Vail got involved by underwriting the development with an IRB which allowed the developer to build and offer the condos at 8.5-9%. Still high by today's rates, but reasonable for the time. They were allowed to sell the unit, but were only allowed to increase the price based on the annual rate of inflation. This restriction lasted for about nine years, at which point they could get market. They may have been allowed to rent to locals that met certain criteria, but I'm not 100% sure about that, and my friend couldn't remember those details.

### Whistler, BC

Here is a link to the Whistler Housing Authority. <https://whistlerhousing.ca/>

Whistler has very defined goals and objectives based on hard data. Their goal is that 75% of the workforce is able to live in Whistler. They have a mix of apartments and townhomes, condos for sale. They have had quite a bit of success, though housing is a continual challenge in that area. There is also no tax impact and no contributions from the local businesses that I can see.

### Aspen Pitkin County Housing Authority

Here is a link to the Aspen Pitkin County Housing Authority. <https://www.apcha.org/>

They do some really interesting things there, some of which have been legally tested.

### 12<sup>th</sup> Ave. Arts

<https://www.seattlemag.com/article/long-awaited-12th-avenue-arts-helps-retain-capitol-hills-essence>

Above is a link to an article describing the 12<sup>th</sup> Ave. Arts building that I was telling you about. This is also a very interesting case.

### Employee Housing

Whistler Blackcomb (Vail Resorts), owns and manages some employee housing in Whistler, separate from the Whistler Housing Authority. This is used mostly for seasonal employees. I know in Vail, they also purchased some prefabs down valley, and then rented back to employees. But as you can see, this is directly related to specific employers, which is not what you're talking about. Also, I don't think there is an equivalent employer in Leavenworth like Vail Resorts would be in Vail or Whistler.

What I see throughout most of these is:

- A clearly defined problem. (I see on the CoL website that you're working on an employer survey now.)
- Clearly defined goals. (See the above example from the Whistler Housing Authority.)
- Support from the local government (councils) and business community. Is that the case in Leavenworth? I know the community has lots of other things on their mind such as traffic and parking as well. What are their priorities?
- A separate housing authority with a clear business model and revenue stream.

I look forward to continuing the discussion. One of my concerns when you discussed the idea of supplementing workforce housing, at least in the way you described it, was that we would be

supplementing market-rate housing that would benefit the developer without any participating from the developer. The developer has no skin in the game, and that doesn't seem like a fair model. Having said that, the Leavenworth Adventure Park would be happy to contribute by creating an annual event where 100% of the proceeds would go to the effort. I estimate this would net the effort between \$6000-\$12000 per year. Dave and I have some experience with this type of event. Each year, while I was working for Dave at the Summit-at-Snoqualmie, we would dedicate an evening to the Seattle Times Fund for the Needy. My only caveat here is the same one I described in the meeting – I'm not willing to make direct payments to an apartment owner or manager. Rather, an entity with clear goals and a fully realized business model, such as a housing authority, would need to be set up.

I hope this information helps. I look forward to continuing the discussion and please don't hesitate to call should you have any questions.

Take care, and thanks again for your time.

John Sutherland  
(206)650-8769